

PREPARED BY:

LANDSCAPE ARCHITECT
PRIME CONSULTANT

J THOMA LAND DESIGN STUDIOS, LLC
ANDOVER, MA 01810
WWW.JTHOMALDS.COM

SURVEYOR

DONOHUE SURVEY
363 BOSTON ST.
TOPSFIELD, MA

TOWN OF TOPSFIELD



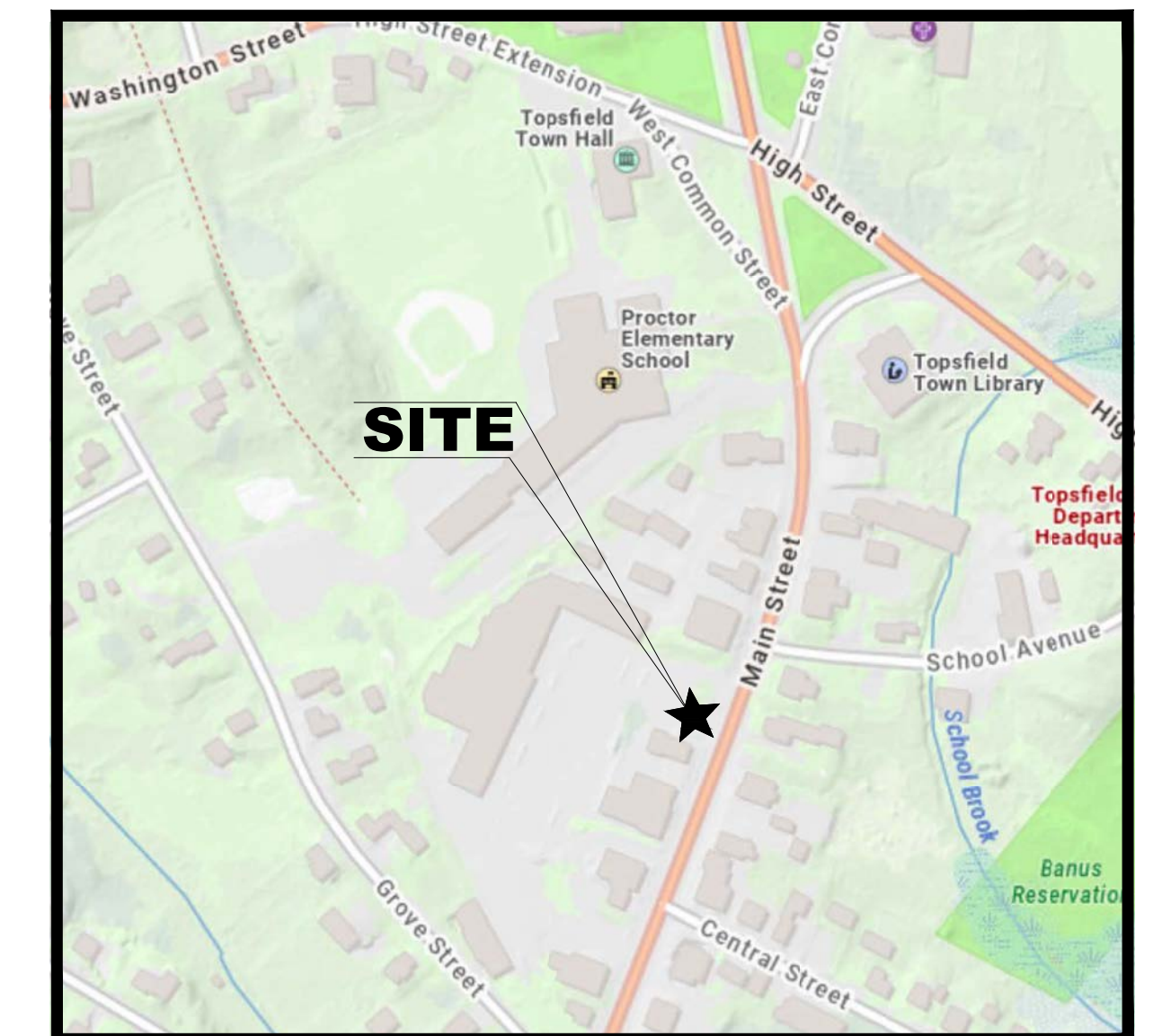
KEVIN HARUTUNIAN, ADMINISTRATOR

TOPSFIELD VILLAGE PARK

TOPSFIELD, MASSACHUSETTS

**100% CONSTRUCTION DOCUMENTS
APRIL 12, 2024**

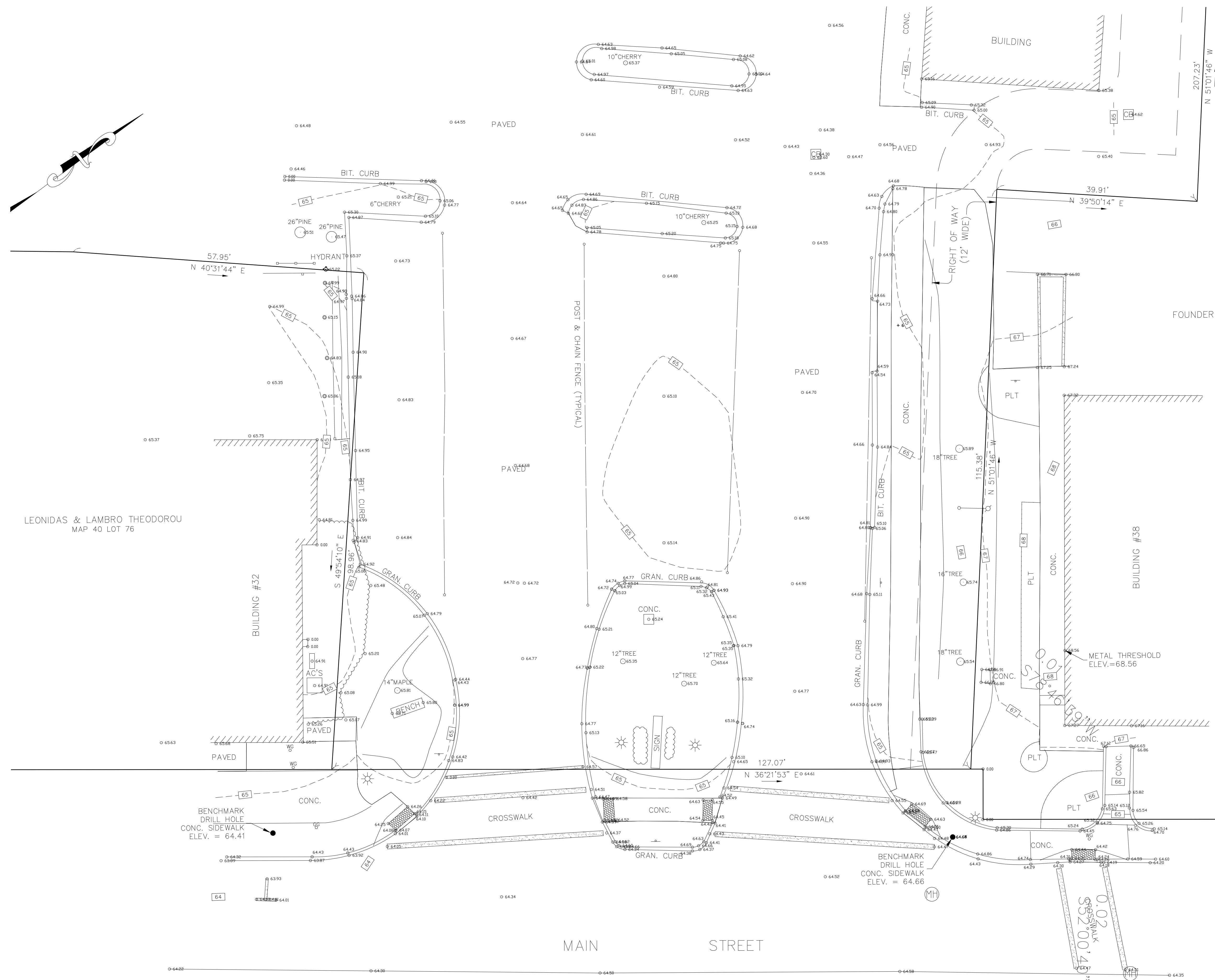
LOCUS PLAN:



**SITE ADDRESS
30 MAIN ST
TOPSFIELD, MA**

DRAWING INDEX

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EXISTING CONDITIONS NOTES:

- EXISTING CONDITIONS SHOWN ON THIS PLAN WERE TAKEN FROM A SURVEY DATED 3/27/2023, PREPARED BY DONAHOE SURVEY, INC., LOCATED IN TOPSFIELD, MA ON 363 BOSTON STREET, 978-887-6161.
- UNDERGROUND UTILITIES WERE NOT MARKED AT THE TIME OF THIS SURVEY.
- CONTRACTOR TO CALL DIG SAFE TO HAVE EXISTING UTILITIES LOCATED PRIOR TO CONSTRUCTION

ASSESSORS: MAP 40 LOT 74

REFERENCES:

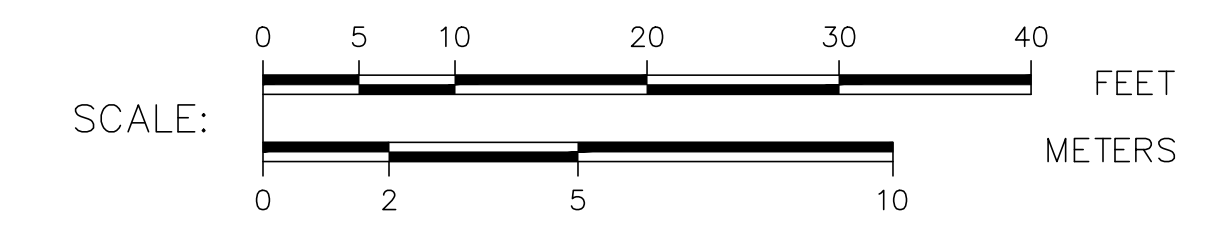
DEED - BK. 4538 PG. 180

PLAN - PL. 73 OF 1959

VERTICAL DATUM: N.A.V.D. 1988

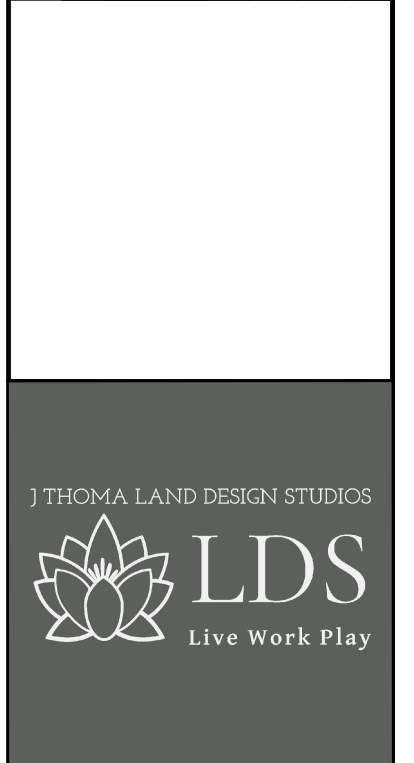
LEGEND & SYMBOLS

- | | |
|-------|-----------------|
| AC | AIR CONDITIONER |
| CONC. | CONCRETE |
| ELEV. | ELEVATION |
| GRAN. | GRANITE |
| BIT. | BITUMINOUS |
| PLT | PLANTED/GARDEN |
| WG | WATER GATE |
| GG | GAS GATE |
| CB | CATCH BASIN |
| MH | MAN HOLE |
| | WOOD FENCE |
| | GUARDRAIL |
| | SHRUB/HEDGE |
| | UTILITY POLE |
| | LIGHT POST |
| | SIGN |



NOTE:
 • UNDERGROUND UTILITIES WERE NOT MARKED AT THE TIME OF THIS SURVEY. AN INVESTIGATION OF UNDERGROUND UTILITIES HAS NOT BEEN CONDUCTED BY DONAHOE SURVEY, INC.

REVISIONS	DATE	DESCRIPTION	BY

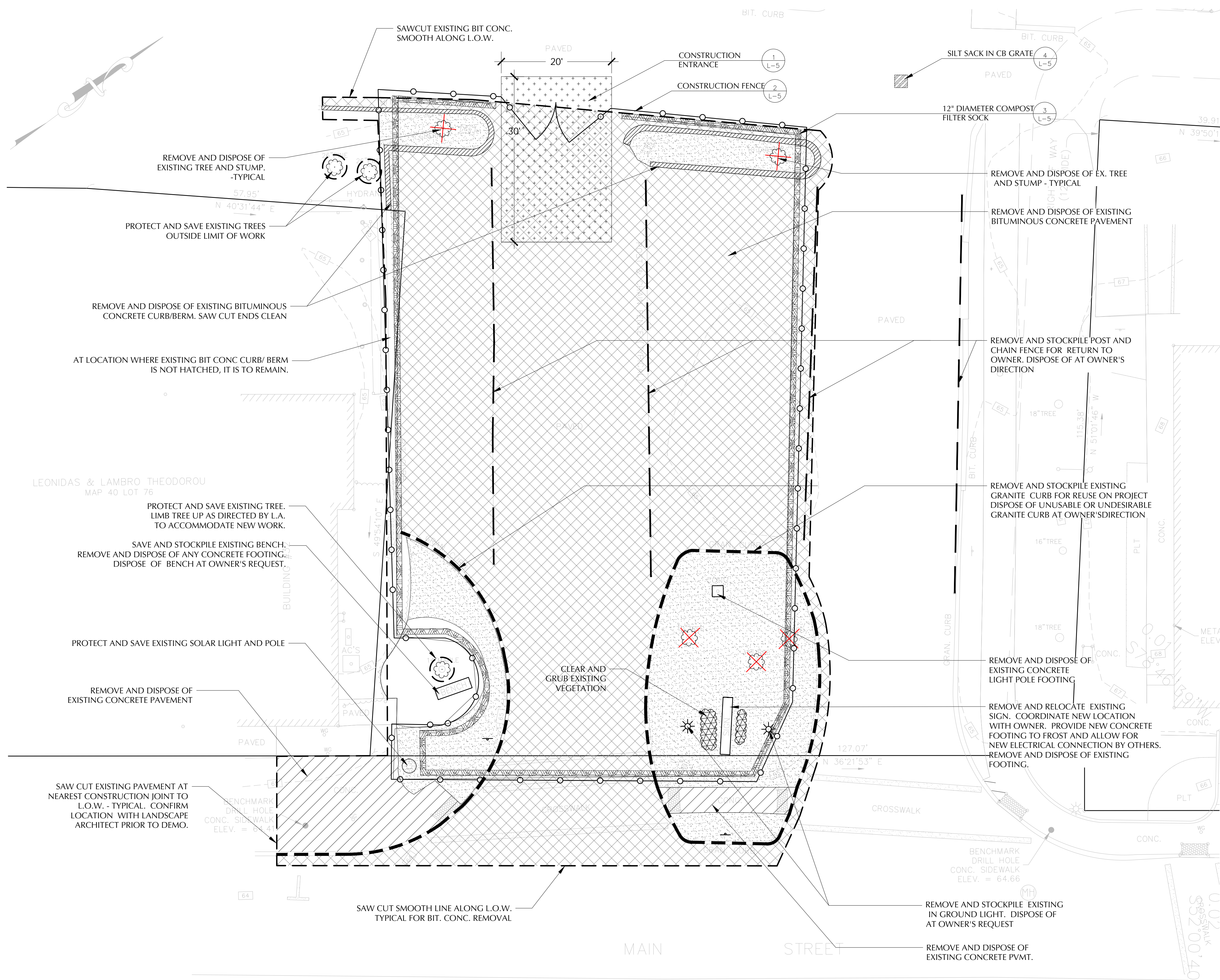


**TOPSFIELD VILLAGE PARK
 EXISTING CONDITIONS PLAN**

J Thoma Land Design Studios
 141 Haggitts Pond Rd
 Andover, MA 01810
 978-409-9815 - www.jthomalds.com

SCALE: 1" = 10' - 0"
 DATE: 04.12.2024

L-0.1



SITE PREP. & DEMO. NOTES:

- EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE SURVEY PREPARED BY DONOHOE SURVEY INC. OF TOPSFIELD MASSACHUSETTS, DATED 3/27/2023.
- THE OWNER'S REPRESENTATIVE SHALL BE CONSULTED AND WILL REVIEW THE WORK ON SITE WITH THE CONTRACTOR BEFORE ANY WORK SHALL COMMENCE.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL CONDITIONS TO THE OWNER'S REPRESENTATIVE PRIOR TO STARTING WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING CONDITIONS TO REMAIN THAT ARE DUE TO CONTRACTOR OPERATIONS.
- ALL ITEMS TO BE REMOVED THAT ARE NOT STOCKPILED FOR LATER REUSE ON THE PROJECT OR DELIVERED TO THE OWNER SHALL BE LEGALLY DISPOSED OF OFF SITE BY THE CONTRACTOR.
- THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE SURVEY REFERENCED ABOVE. THE CONTRACTOR SHALL CONTACT DIGSAFE AND THE PROPER LOCAL AUTHORITIES OR RESPECTIVE UTILITY COMPANIES TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DAMAGE DUE TO FAILURE OF THE CONTRACTOR TO CONTACT THE PROPER AUTHORITIES SHALL BE BORNE BY THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS EFFORTS OF THE DEMOLITION WITH ALL TRADES.
- THE CONTRACTOR SHALL COORDINATE ALL ADJUSTMENT OR ABANDONMENT OF UTILITIES WITH THE RESPECTIVE UTILITY COMPANY AND OWNER.
- THE CONTRACTOR SHALL MAINTAIN OR ADJUST TO NEW FINISH GRADE AS NECESSARY ALL UTILITY AND SITE STRUCTURES SUCH AS LIGHT POLES, SIGN POLES, MAN HOLES, CATCH BASINS, HAND HOLES, WATER AND GAS GATES, HYDRANTS, ETC., FROM MAINTAINED UTILITY AND SITE SYSTEMS UNLESS OTHERWISE NOTED OR DIRECTED BY THE OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL COORDINATE LAYOUT OF CONSTRUCTION FENCE WITH OWNER & LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- PEDESTRIAN AND VEHICULAR ACCESS TO THE ADJACENT SHOPPING PLAZA AND ALONG THE EXISTING SIDEWALK SHALL BE MAINTAINED AT ALL TIMES. THE CONTRACTOR SHALL PROVIDE A TRAFFIC MANAGEMENT PLAN FOR REVIEW AND APPROVAL BY OWNER AND L.A. PRIOR TO COMMENCEMENT OF ANY ACTIVITIES ON SITE. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY PEDESTRIAN WALKS AS NEEDED OR REQUIRED, AND FOR PROVIDING ANY TRAFFIC POLICE DETAILS AS REQUIRED BY THE OWNER TO PROVIDE SAFE VEHICULAR AND PEDESTRIAN ACCESS ALONG THE STREET AND INTO THE EXISTING SHOPPING PLAZA. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ANY TEMPORARY SIGNAGE (SUCH AS NO PARKING) AND ANY TEMPORARY BARRICADES, TRAFFIC CONES OR FLAGGING AS MAY BE NEEDED TO MANAGE THE PEDESTRIAN AND VEHICULAR TRAFFIC FOR THE DURATION OF CONSTRUCTION.

LEGEND:

- EXISTING TREE TO BE PROTECTED DURING CONSTRUCTION
- EXISTING TREE TO BE REMOVED
- LIMIT OF WORK LINE
- BIT. CONC. REMOVAL
- CONSTRUCTION ENTRANCE
- CONC. PVMT. REMOVAL
- CLEAR AND GRUB EX. TURF
- GRANITE CURB - REMOVE & STOCKPILE FOR REUSE
- 12" FILTER SOCK EROSION CONTROL BARRIER
- CATCH BASIN SILT SACK PROTECTION
- EXISTING VEGETATION TO BE CLEARED AND GRUBBED
- EX LIGHT POLE TO BE PROTECTED AND SAVED
- EX. IN GROUND SPOT LIGHT TO BE REMOVED

REVISIONS	DATE	DESCRIPTION	BY

J THOMA LAND DESIGN STUDIOS

Live Work Play

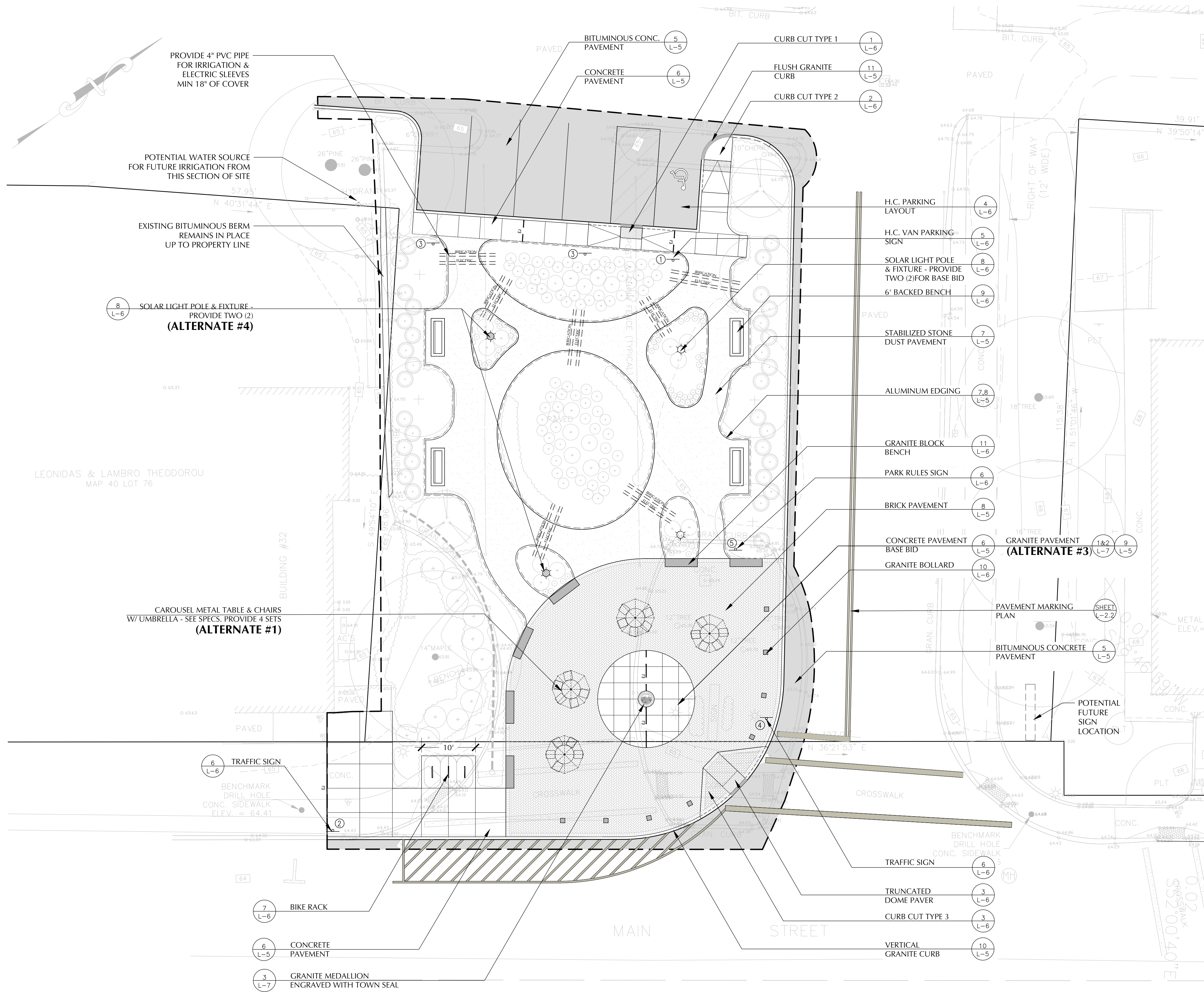
TOPSFIELD VILLAGE PARK
SITE PREP. & DEMOLITION PLAN

J Thoma Land Design Studios
 141 Heggetts Pond Rd
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SCALE: 1" = 10' - 0"

DATE: 04.12.2024

L-1



LAYOUT AND MATERIALS NOTES:

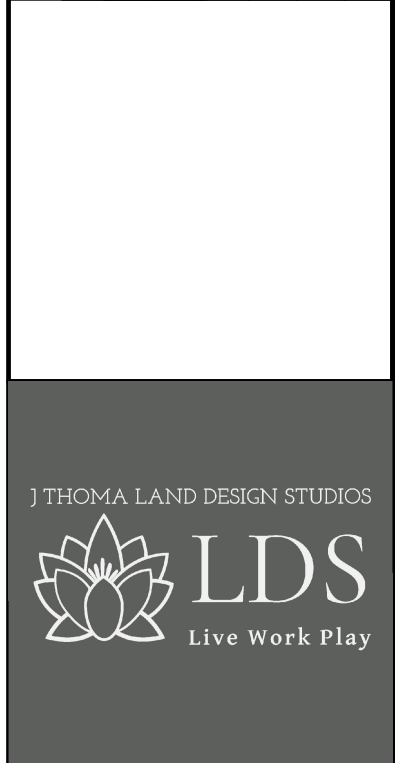
- EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE SURVEY PREPARED BY DONOHOE, SURVEY OF TOPSFIELD MASSACHUSETTS, DATED 27 MARCH 2023.
- THE LOCATIONS OF UNDERGROUND UTILITIES ARE FROM TOWN RECORDS. THE CONTRACTOR SHALL NOTIFY DIGSAFE AND THE PROPER LOCAL AUTHORITIES OR RESPECTIVE UTILITY COMPANIES TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DAMAGE DUE TO FAILURE OF THE CONTRACTOR TO CONTACT THE PROPER AUTHORITIES SHALL BE BORNE BY THE CONTRACTOR.
- CONTRACTOR(S) SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS, AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
- ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS, AND SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE & LANDSCAPE ARCHITECT FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION.
- ALL WORK CONDUCTED WITHIN PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE TOWN OF TOPSFIELD AND THE MASSACHUSETTS HIGHWAY DEPARTMENT.
- THE FOLLOWING LAYOUT CRITERIA SHALL CONTROL UNLESS OTHERWISE NOTED ON THE PLAN:
 - ALL DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING.
 - ALL DIMENSIONS ARE TO FACE OF CURB AT GUTTER LINE.
 - ALL DIMENSIONS ARE TO CENTER OF PAVEMENT MARKINGS.
 - ALL TIES ARE TO PROPERTY LINES ARE PERPENDICULAR TO THE PROPERTY LINE UNLESS OTHERWISE NOTED.
- SCREENED IMAGES SHOW EXISTING CONDITIONS. WHERE EXISTING CONDITIONS LIE UNDER OR ARE IMPINGED UPON BY PROPOSED BUILDINGS AND/OR SITE ELEMENTS, THE EXISTING CONDITION WILL BE REMOVED, ABANDONED AND/OR CAPPED OR DEMOLISHED AS REQUIRED.
- THE STRIPING FOR THE MAIN ENTRY DRIVE SHALL BE THERMOPLASTIC STRIPING PER THE SPECIFICATIONS.
- THE STRIPING FOR PARKING AREA, HC PARKING SPACE, GRAPHIC AND AISLE SHALL BE MARKING PAINT PER THE SPECIFICATIONS.

LEGEND:

- VERTICAL GRANITE CURB
- TRANSITION GRANITE CURB
- FLUSH GRANITE CURB
- BRICK PAVEMENT
- CONCRETE PAVEMENT
- GRANITE PAVEMENT (ALTERNATE # 3)
- STABILIZED STONE DUST PAVEMENT
- BITUMINOUS CONCRETE PAVEMENT
- SOLAR LIGHT POLE AND FIXTURE - BASE BID
- SOLAR LIGHT POLE AND FIXTURE - (ALTERNATE #4)
- BOLLARD
- BIKE RACK
- TRAFFIC SIGN
- 6' BACKED BENCH
- GRANITE BLOCK BENCH
- EXPANSION JOINT
- LIMIT OF WORK EXCAVATION (DOES NOT INCLUDE PAVEMENT MARKING)
- IRRIGATION & ELECTRIC SLEEVES
- ALUMINUM EDGING

SIGN #	DESCRIPTION	# REQ'D.	DETAIL
①	HANDICAP VAN PARKING	1	6/L-6
②	NO PARKING HERE TO CORNER	1	7/L-6
③	PARKING FOR PARK ONLY	2	7/L-6
④	STOP	1	7/L-6
⑤	PARK RULES	1	7/L-6

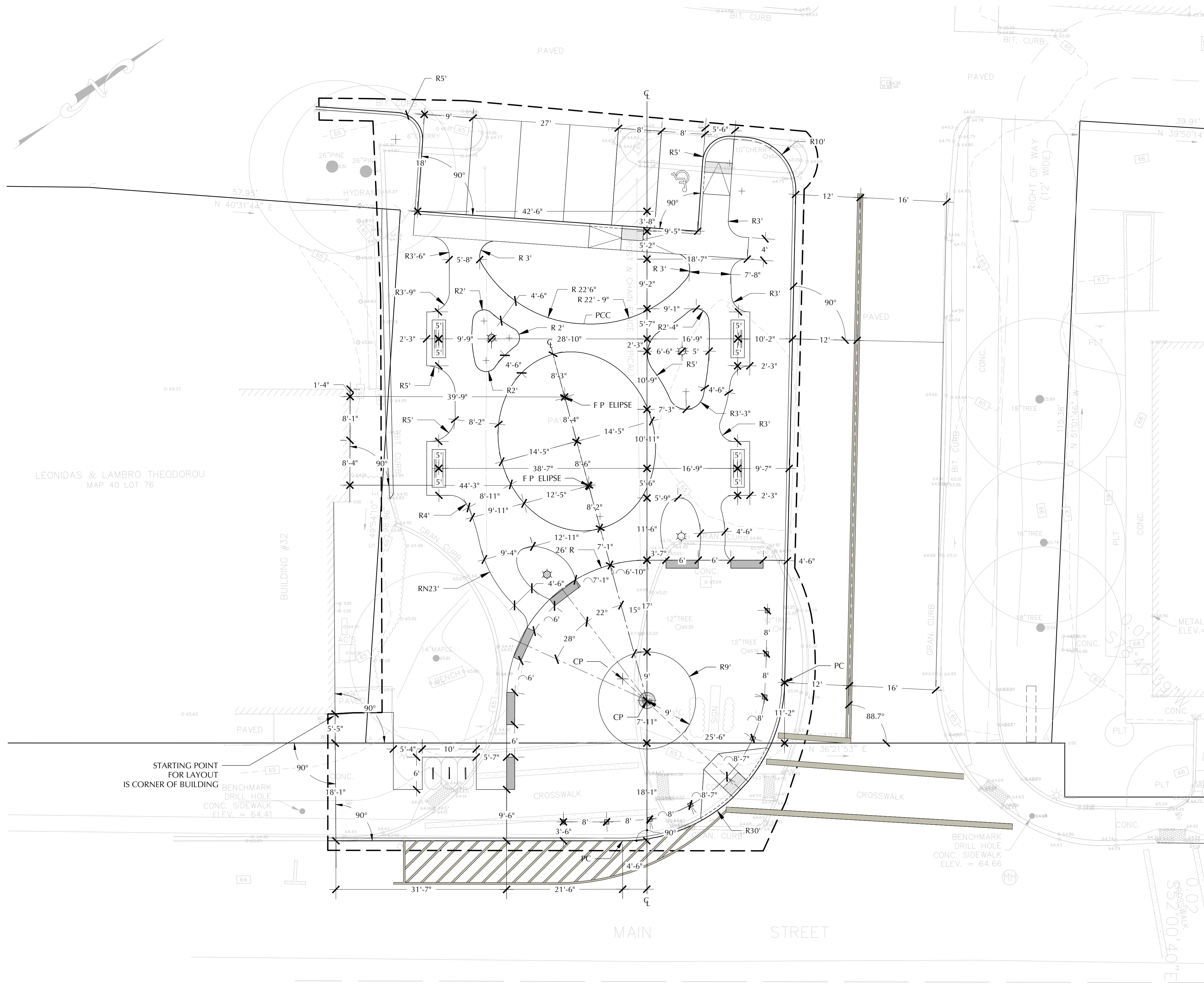
NO.	DATE	DESCRIPTION	BY



**TOPSFIELD VILLAGE PARK
MATERIALS PLAN**

J Thoma Land Design Studios
 141 Haggitts Pond Rd
 Andover, MA 01810
 978-409-9815 - www.jthomaid.com

SCALE: 1" = 10' - 0"
 DATE: 04.12.2024



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- ALL WORK CONDUCTED WITHIN PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE TOWN OF TOPSFIELD AND THE MASSACHUSETTS HIGHWAY DEPARTMENT.
- THE FOLLOWING LAYOUT CRITERIA SHALL CONTROL UNLESS OTHERWISE NOTED ON THE PLAN:
 - ALL DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING.
 - ALL DIMENSIONS ARE TO FACE OF CURB AT GUTTER LINE.
 - ALL DIMENSIONS ARE TO CENTER OF PAVEMENT MARKINGS.
 - ALL TIES ARE TO PROPERTY LINES ARE PERPENDICULAR TO THE PROPERTY LINE UNLESS OTHERWISE NOTED.
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- THE STRIPING FOR THE MAIN ENTRY DRIVE SHALL BE THERMOPLASTIC STRIPING PER THE SPECIFICATIONS.
- THE STRIPING FOR PARKING AREA, HC PARKING SPACE, GRAPHIC AND AISLE SHALL BE MARKING PAINT PER THE SPECIFICATIONS.

LEGEND:

- VERTICAL GRANITE CURB
- TRANSITION GRANITE CURB
- FLUSH GRANITE CURB
- SOLAR LIGHT POLE AND FIXTURE
- BOLLARD
- BIKE RACK
- 6' BACKED BENCH
- GRANITE BLOCK BENCH
- EXPANSION JOINT
- LIMIT OF WORK LINE
- ALUMINUM EDGING
- CENTER LINE
- POINT OF CURVATURE
- CENTER POINT
- FOCAL POINT ELLIPSE
- RADIUS
- HC RAMP WARNING STRIP

NO.	DATE	DESCRIPTION	BY

J THOMA LAND DESIGN STUDIOS

LDS
Live Work Play

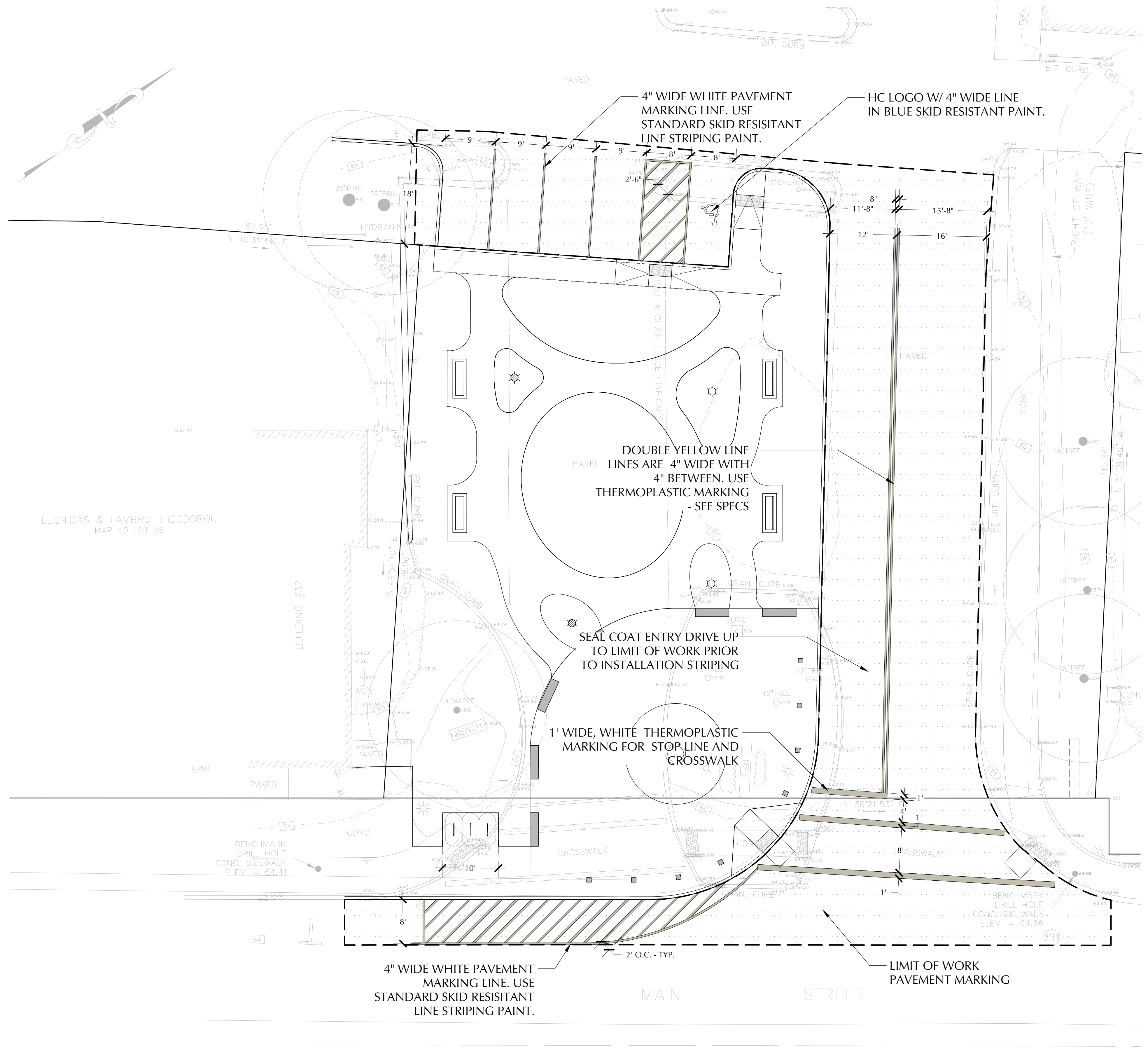
TOPSFIELD VILLAGE PARK
LAYOUT PLAN

J Thoma Land Design Studios
141 Haggetts Pond Rd
Andover, MA 01810
978-409-9815 - www.jthomalds.com

SCALE: 1" = 10' - 0"

DATE: 04.12.2024

L-2.1



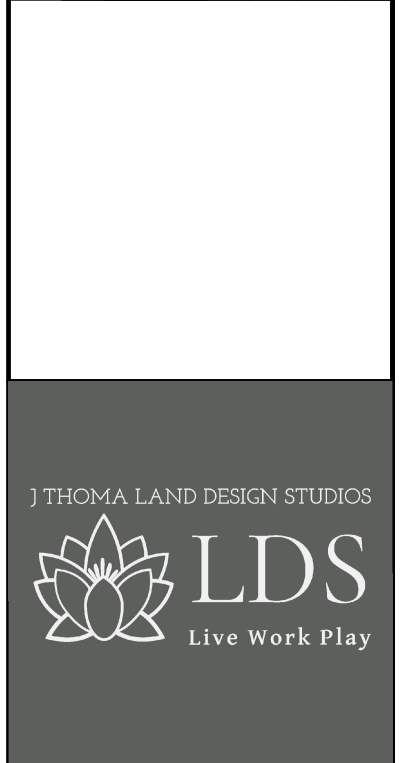
PAVEMENT MARKING NOTES:

- EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE SURVEY PREPARED BY DONOHOE, SURVEY OF TOPSFIELD MASSACHUSETTS, DATED 27 MARCH 2023.
- THE LOCATIONS OF UNDERGROUND UTILITIES ARE FROM TOWN RECORDS. THE CONTRACTOR SHALL NOTIFY DIGSAFE AND THE PROPER LOCAL AUTHORITIES OR RESPECTIVE UTILITY COMPANIES TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DAMAGE DUE TO FAILURE OF THE CONTRACTOR TO CONTACT THE PROPER AUTHORITIES SHALL BE BORNE BY THE CONTRACTOR.
- CONTRACTOR(S) SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS, AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
- ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS, AND SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE & LANDSCAPE ARCHITECT FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION.
- ALL WORK CONDUCTED WITHIN PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE TOWN OF TOPSFIELD AND THE MASSACHUSETTS HIGHWAY DEPARTMENT.
- THE FOLLOWING LAYOUT CRITERIA SHALL CONTROL UNLESS OTHERWISE NOTED ON THE PLAN:
 - ALL DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING.
 - ALL DIMENSIONS ARE TO FACE OF CURB AT GUTTER LINE.
 - ALL DIMENSIONS ARE TO CENTER OF PAVEMENT MARKINGS.
 - ALL TIES ARE TO PROPERTY LINES ARE PERPENDICULAR TO THE PROPERTY LINE UNLESS OTHERWISE NOTED.
- SCREENED IMAGES SHOW EXISTING CONDITIONS. WHERE EXISTING CONDITIONS LIE UNDER OR ARE IMPINGED UPON BY PROPOSED BUILDINGS AND/OR SITE ELEMENTS, THE EXISTING CONDITION WILL BE REMOVED, ABANDONED AND/OR CAPPED OR DEMOLISHED AS REQUIRED.
- THE STRIPING FOR THE MAIN ENTRY DRIVE SHALL BE THERMOPLASTIC STRIPING PER THE SPECIFICATIONS.
- THE STRIPING FOR PARKING AREA, HC PARKING SPACE, GRAPHIC AND AISLE SHALL BE MARKING PAINT PER THE SPECIFICATIONS.

LEGEND:

- LIMIT OF WORK PAVEMENT MARKING
- SEAL COATING ON BIT. CONC.

REVISIONS	DATE	DESCRIPTION	BY



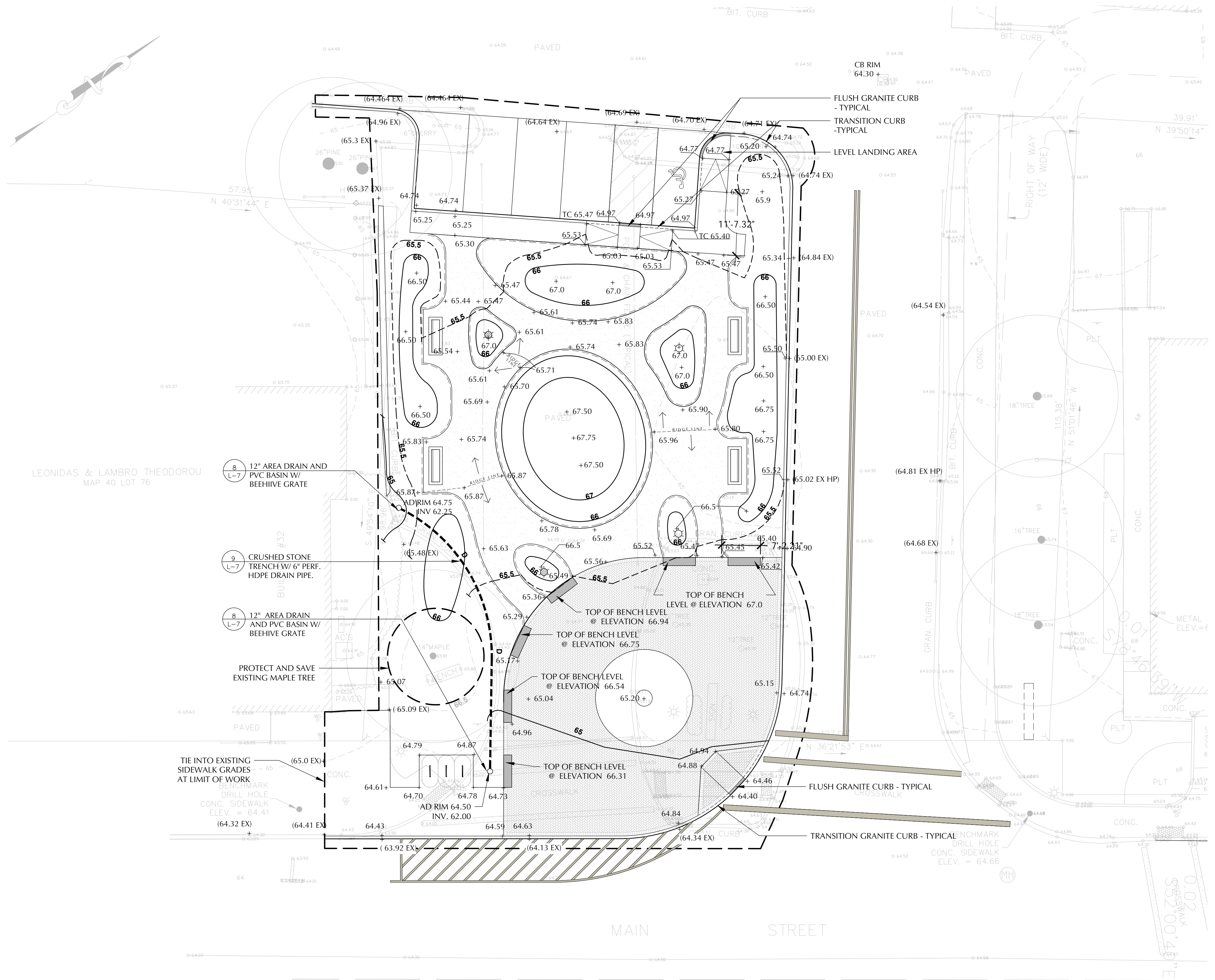
**TOPSFIELD VILLAGE PARK
PAVEMENT MARKING PLAN**

J Thoma Land Design Studios
 141 Heggerts Pond Rd
 Andover, MA 01810
 978-409-9815 - www.jthomalds.com

SCALE: 1" = 10' - 0"

DATE: 04.12.2024

L-2.2



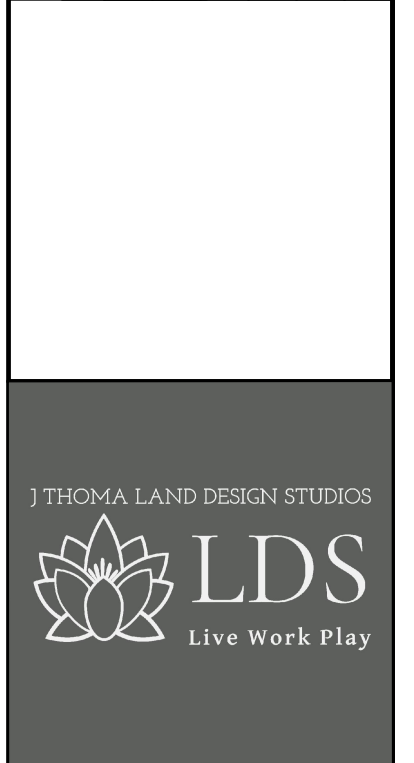
GRADING NOTES:

- EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM SURVEY PROVIDED BY DONOHOE SURVEY OF TOPSFIELD MASSACHUSETTS DATED 03/27/2023.
- PRIOR TO THE START OF ANY EXCAVATION FOR THE PROJECT, BOTH ON AND OFF THE SITE, THE CONTRACTOR SHALL NOTIFY DIGSAFE AND BE PROVIDED WITH A DIGSAFE NUMBER INDICATING THAT ALL EXISTING UTILITIES HAVE BEEN LOCATED AND MARKED.
- WHERE PROPOSED GRADES MEET EXISTING GRADES, CONTRACTOR SHALL BLEND GRADES TO PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW WORK. PONDING AT TRANSITION AREAS WILL NOT BE ALLOWED.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES AND PLANTING BEDS.
- MAXIMUM SLOPE IN DISTURBED AREAS SHALL NOT EXCEED 3:1, UNLESS OTHERWISE NOTED.
- ENSURE ALL EXISTING (TO REMAIN), AND PROPOSED MANHOLE COVERS PROPERLY IDENTIFY UTILITY SERVICED.
- CONTRACTOR SHALL VERIFY EXISTING GRADES AND NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
- BITUMINOUS CONCRETE ELEVATIONS AT CATCH BASINS TO BE 1/4 INCH ABOVE RIM ELEVATION SHOWN FOR CATCH.
- THE CONTRACTOR SHALL MAINTAIN OR ADJUST TO NEW FINISH GRADE AS NECESSARY ALL UTILITY AND SITE STRUCTURES SUCH AS LIGHT POLES, SIGN POLES, MAN HOLES, CATCH BASINS, HAND HOLES, WATER AND GAS GATES, HYDRANTS, ETC., FROM MAINTAINED UTILITY AND SITE SYSTEMS UNLESS OTHERWISE NOTED OR DIRECTED BY THE OWNER.
- SCREENED IMAGES SHOW EXISTING CONDITIONS. WHERE EXISTING CONDITIONS LIE UNDER OR ARE IMPINGED UPON BY PROPOSED BUILDINGS AND/OR SITE ELEMENTS, THE EXISTING CONDITION WILL BE REMOVED, ABANDONED AND/OR CAPPED OR DEMOLISHED AS REQUIRED.
- THE CONTRACTOR SHALL MEET THE REQUIREMENTS OF 521 CMR OF THE ARCHITECTURAL ACCESS BOARD REGULATIONS. ALL GRADES ON WALKWAYS, RAMPS, CURB CUTS AND PARKING AREAS AS DEFINED BY 521 CMR SHALL COMPLY WITH THE MAXIMUM ALLOWABLE GRADES. GRADES SHALL BE MEASURED AT TWO FOOT INTERVALS. CROSS SLOPES ON ALL WALKS, PATHS OF TRAVEL AND ACCESSIBLE ROUTES AS DEFINED IN 521 CMR SHALL NOT EXCEED 1.5%. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF DISCREPANCIES ARISE BETWEEN THE ACTUAL GRADES SHOWN ON THE PLANS AND THE MAXIMUM ALLOWABLE GRADES INDICATED IN 521 CMR.
- ALL WALKWAYS SHALL BE GRADED TO A MAXIMUM 4.5% RUNNING SLOPE (PARALLEL TO THE DIRECTION OF TRAVEL). THE CROSS PITCH OF ALL WALKWAYS, PATHS AND PLAZAS SHALL NOT EXCEED 1.5% (PERPENDICULAR TO THE DIRECTION OF TRAVEL). THE SLOPE OF ALL RAMPS AND SIDE SLOPES OF HANDICAP CURB CUTS AS DEFINED BY SECTION 21.1 OF 521 CMR SHALL BE CONSTRUCTED AT 7% MAXIMUM. RAMPS AS DEFINED IN SECTION 24.1 OF 521 CMR SHALL BE CONSTRUCTED TO A MAXIMUM SLOPE OF 7%.
- A 5'-0" MINIMUM LEVEL (1.5% PITCH) AREA SHALL BE PROVIDED AT ALL FLUSH ENTRANCES TO BUILDINGS. PUDDLING OF WATER AT THE ENTRANCES WILL NOT BE ALLOWED.
- IF ANY OF THE ABOVE REQUIREMENTS CANNOT BE MET WITH THE GRADES SHOWN ON THE PLANS, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY FOR DIRECTION.

LEGEND:

- LIMIT OF WORK
- AREA DRAIN W/ PVC RISER & SUMP
- PROPOSED 1/2 FOOT CONTOUR
- PROPOSED CONTOUR
- EXISTING CONTOUR
- PROPOSED SPOT GRADE
- PROPOSED HDPE DRAIN LINE
- EXISTING TREE TO BE PROTECTED

REVISIONS	DATE	DESCRIPTION	BY



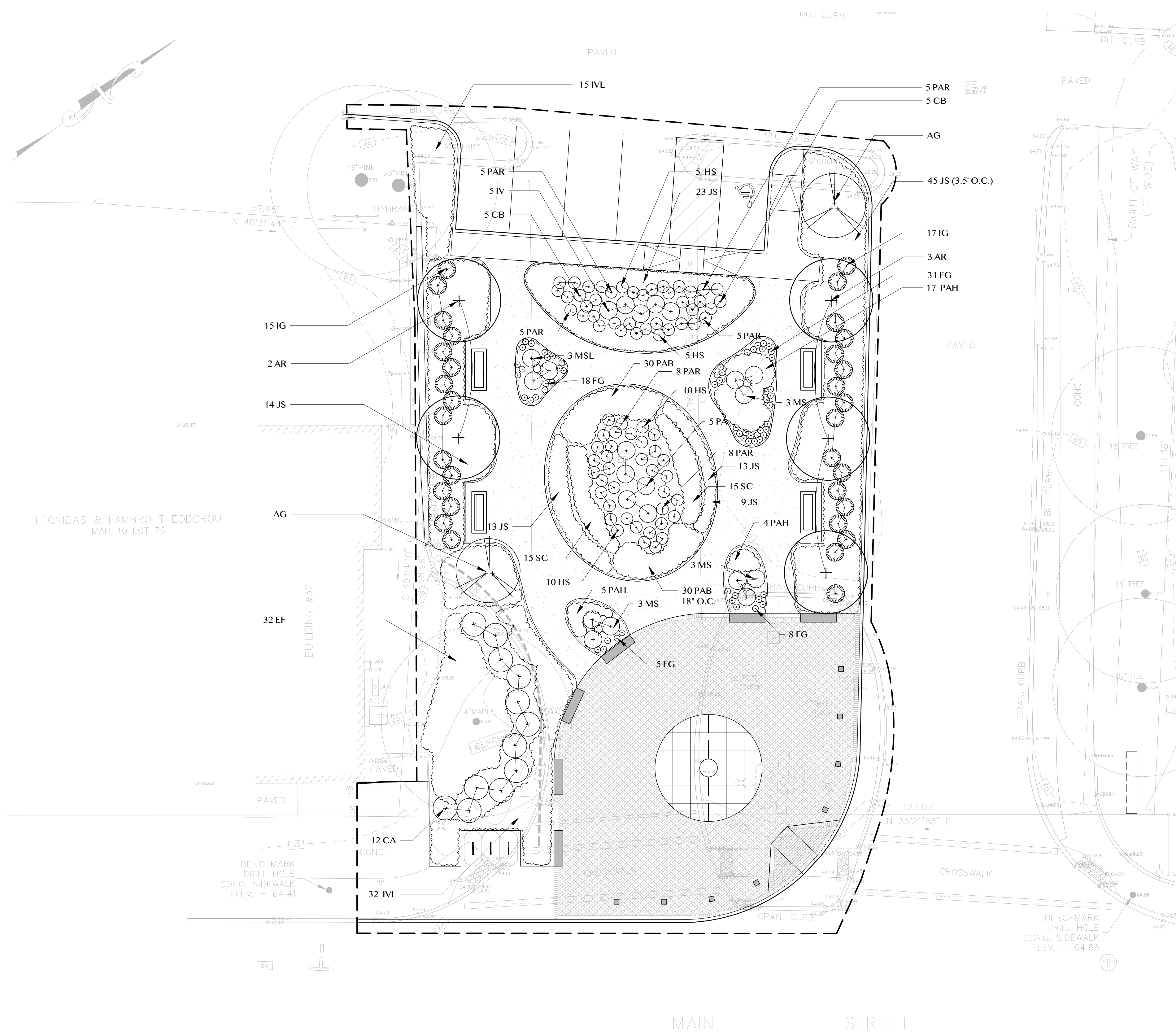
TOPSFIELD VILLAGE PARK GRADING PLAN

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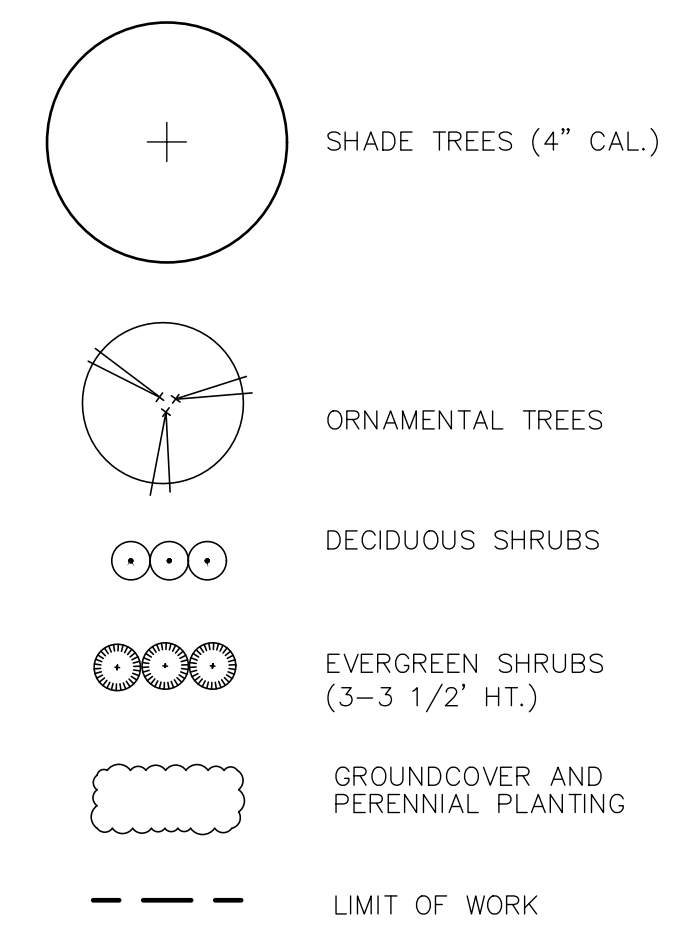
SCALE: 1" = 10' - 0"

DATE: 04.12.2024

L-3



PLANTING LEGEND:



PLANTING NOTES:

- EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE SURVEY PREPARED BY DONOHOE SURVEY OF TOPSFIELD, MASSACHUSETTS DATED 27 MARCH 2023.
- THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN ARE BASED ON TOWN SUPPLIED RECORD INFORMATION. THE CONTRACTOR SHALL CONTACT DIGSAFE AND THE PROPER LOCAL AUTHORITIES OR RESPECTIVE UTILITY COMPANIES TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DAMAGE DUE TO FAILURE OF THE CONTRACTOR TO CONTACT THE PROPER AUTHORITIES SHALL BE BORNE BY THE CONTRACTOR.
- CONTRACTOR SHALL BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND WILL CONTINUE UNTIL FINAL WRITTEN ACCEPTANCE OF PLANT MATERIAL.
- CONTRACTOR SHALL VERIFY ALL TREE REMOVALS AND/OR TRANSPLANTS WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION START.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES, AND PLANTING BEDS.
- MAXIMUM SLOPE WITHIN DISTURBED AREAS SHALL NOT EXCEED 3:1, UNLESS OTHERWISE NOTED.
- THE LANDSCAPE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE ALL PLANTINGS SHOWN ON THIS DRAWING.
- ALL MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE AS TO ORIGINAL GRADES BEFORE DIGGING.
- ALL PLANTS TO BE BALLED IN BURLAP OR CONTAINERIZED.
- MULCH FOR PLANTED AREAS TO BE AGED PINE BARK; PARTIALLY DECOMPOSED, DARK BROWN IN COLOR AND FREE OF WOOD CHIPS THICKER THAN 1/4 INCH.
- PLANTING SOIL MIX: LOAM THOROUGHLY INCORPORATED WITH ROTTED MANURE PROPORTIONED 5 C.Y. TO 1 C.Y. OR EQUIVALENT. FERTILIZER ADDED PER RECOMMENDED RATES OF SOILS ANALYSIS.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE (1) FULL YEAR FROM DATE OF ACCEPTANCE.
- ALL PLANT MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT, AT THE NURSERY, AND AT THE SITE.
- CONTRACTOR TO HAVE PLANT LOCATIONS APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- SEE SHEET L-7 FOR PLANTING DETAILS

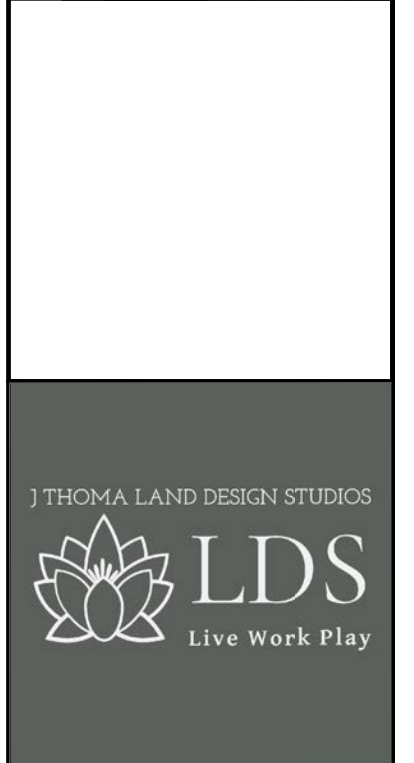
PLANT LIST - BASE BID

#	SYM	Common Name	Botanical Name	Size	Notes
TREES					
5	AR	ARMSTRONG RED MAPLE	ACER X FREEMANII 'ARMSTRONG'	3" CAL., 14'-16'	CLUMP, B&B
2	AG	AUTUM BRILLIANCE SERVICEBERRY	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	2 1/2" CAL., 8'-10'	MULTISTEM, B&B
WOODY SHRUBS					
32	IG	SHAMROCK INKBERRY HOLLY	ILEX GLABRA 'SHAMROCK'	2.5 - 3', #10 POT	B&B or C.G.
5	IV	RED SPRITE WINTERBERRY HOLLY	ILEX VERTICILLATA 'RED SPRITE'	3-4'	B&B
5	PA	PINUS ARISTATA	BRISTLECONE PINE	3', #10 POT	C.G.
HERBACEOUS PERENNIALS, GROUNDCOVER & BULBS					
36	PAR	RED HEAD FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'RED HEAD'	#3 POT	C.G.
60	PAB	DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'BURGUNDY BUNNY'	#1 POT	C.G.
26	PAH	HAMELN FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'HAMELN'	#2 POT	C.G.
10	CB	KOREAN FEATHER REED GRASS	CALAMAGROSTIS BRACHYTRICHA	#2 POT	C.G.
30	HS	BLUE OAT GRASS	HELICTOTRICHON SEMPERVIRENS	#2 POT	C.G.
62	FG	BEYOND BLUE FECUE	FESTUCA GLAUCA 'BEYOND BLUE'	#1 POT	C.G.
9	MS	DWARF MAIDEN GRASS	MISCANTHUS SINENSIS 'ADAGIO'	#3 POT	C.G.
3	MSL	LITTLE KITTEN MAIDEN GRASS	MISCANTHUS SINENSIS 'LITTLE KITTEN'	#3 POT	C.G.

PLANT LIST - ALTERNATE #2

#	SYM	Common Name	Botanical Name	Size	Notes
WOODY SHRUBS					
108	JS	SARGENT JUNIPER	JUNIPERUS CHINENSIS 'SARGENTII'	#1 POT	C.G.
12	CA	SUMMERSWEET CLETHRA	CLETHRA ALNIFOLIA 'RUBY SPICE'	3', #7 POT	B&B or C.G.
32	EF	COLORATUS WINTERCREEPER EUONYMUS	EUONYMUS FORTUNEI COLORATUS	#1 POT	C.G.
47	IVL	LITTLE HENRY SWEETSPIRE	ITEA VIRGINICA 'LITTLE HENRY'	#3 POT	C.G.
5	PA	PINUS ARISTATA	BRISTLECONE PINE	3', #10 POT	B&B or C.G.

NO.	REVISIONS	DATE	BY

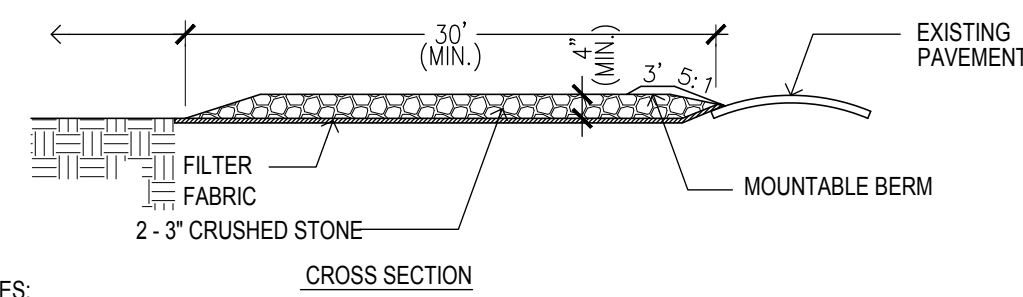


TOPSFIELD VILLAGE PARK
PLANTING PLAN

J Thoma Land Design Studios
141 Heggerts Pond Rd
Andover, MA 01810
978-409-9815 - www.jthomads.com

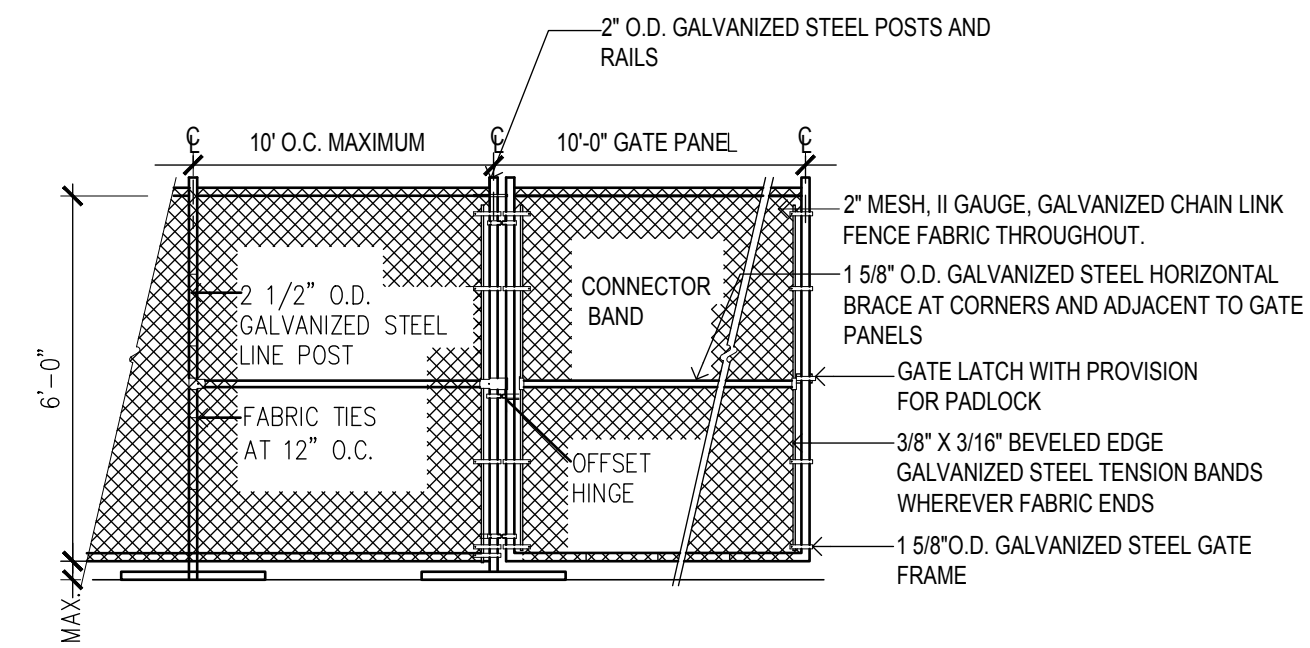
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DATE: 04.12.2024

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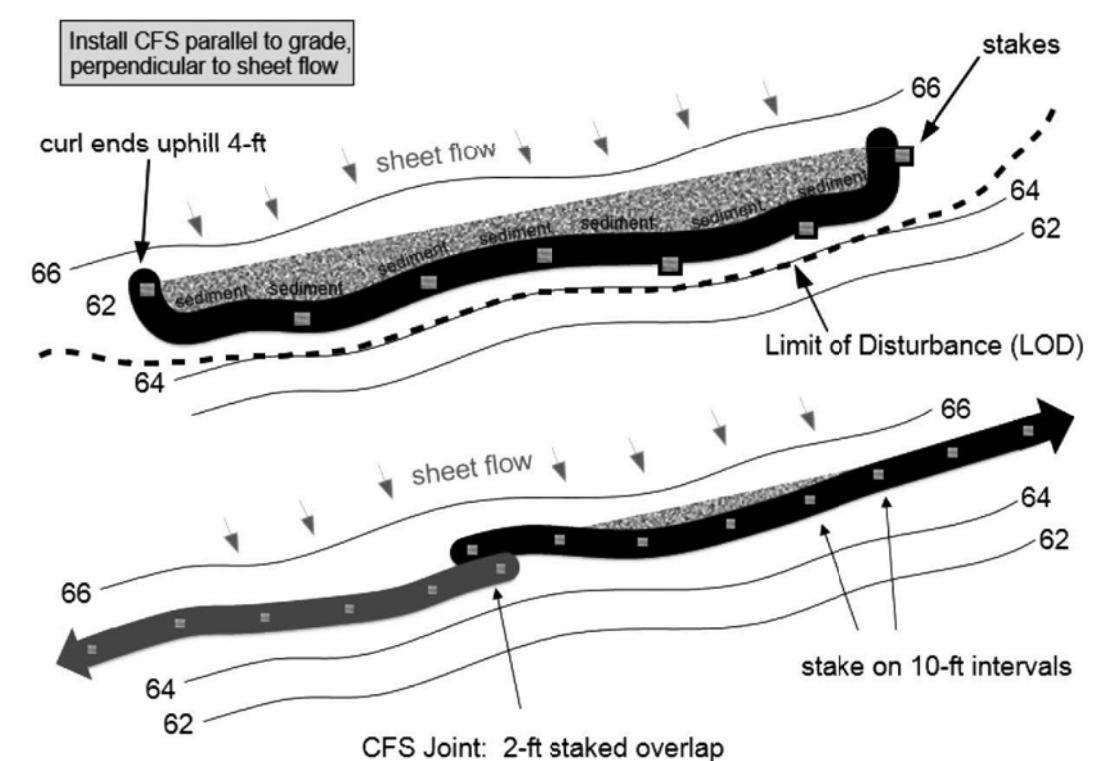
NOTES:
 ENTRANCE WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.

1 CONSTRUCTION ENTRANCE
 SCALE: 3/8" = 1'-0"

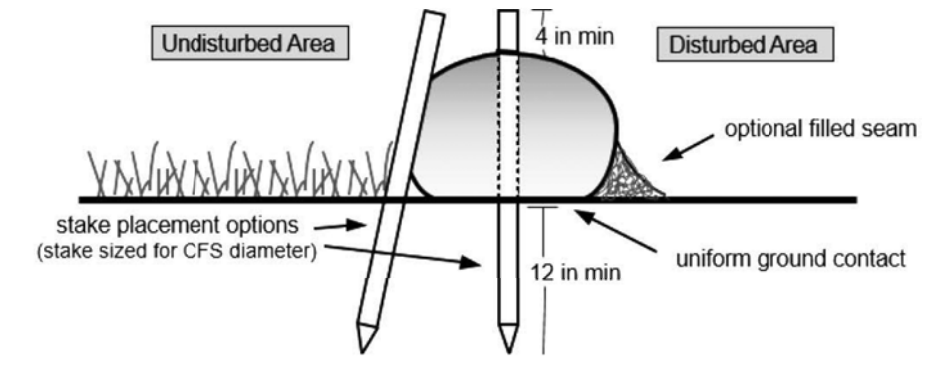


NOTES:
 1. ALL MATERIALS SHALL BE GALVANIZED STEEL UNLESS OTHERWISE NOTED.
 2. POST SPACING SHALL BE EQUIDISTANT. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTINUED MAINTENANCE OF FENCE.

2 CONSTRUCTION FENCE
 SCALE: 1/4" = 1'-0"



COMPOST FILTER SOCK – CROSS SECTION



3 COMPOST FILTER SOCK
 NOT TO SCALE

GENERAL

- Filler Material** Material is a 100% all natural blend of well-aged shredded, chipped, and ground hardwood plus 50% Certified Compost DEP 2012 E&S Manual Specs
- Under normal conditions, **stake CFS at 10-ft intervals** and at CFS Joints (continuous palletized CFS includes stakes in kit - under coiled CFS). For 8-inch and 12-inch diameter, use a 28-inch stake $\geq 1\frac{1}{2}$ by 1 $\frac{1}{2}$ -inch. For 18-inch and 24-inch, use a 42-inch stake $\geq 1\frac{1}{2}$ by 1 $\frac{1}{2}$ -inch. For 32-in CFS use a 48-inch stake $\geq 1\frac{1}{2}$ by 1 $\frac{1}{2}$ -inch. When staking pyramids, for three 12s, use 42-inch stake; for two 18s plus one 12, and three 18s, use 48-inch stake.

INSTALLATION

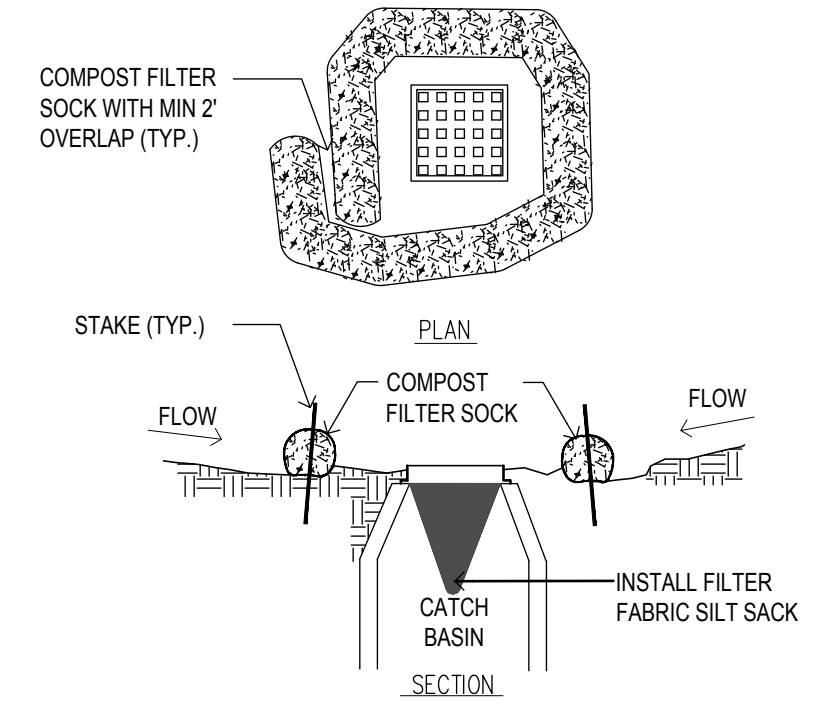
- CFS should be laid on a flat level area, in sections running perpendicular to the runoff flow direction from the Area of Disturbance. Loose material (soil, mulch, sand, or fill) may **optionally** be placed along the up slope side, filling the seam between the soil surface and the sock, improving sediment retention.
- Hardwood stakes shall be installed through the middle of continuous CFS on 10-ft intervals. CFS may also be staked on the down slope side with stakes tilted downward wedging the CFS in place. Staking depth for sand clay, and silt loam soils shall be 12-inches. In the event staking is not possible (when CFS is used on concrete or paved hard surface) heavy concrete blocks shall be used behind CFS to help stabilize during rainfall/runoff events. Where two sections meet, j-hook higher elevation end, or side overlap ends 1-2-ft and tightly side-butt. Stake through each end and add loose material as needed.
- Palletized pre-cut CFS can be used in areas where machine access is difficult, CFS needs to be occasionally moved, or CFS needs to run diagonal to grade. CFS sectional installation allows periodic "j-hooks" at section ends. This prevents parallel unchecked water flow that can undermine the CFS.
- CFS Joint:** Where two CFS sections meet on level grade, overlap the adjoining ends, tightly butt together, and stake through each end (see detail). Where Two sections meet on **un-level** grade, j-hook higher elevation end, stake, and begin new section just below. Use loose mulch to fill any voids in joint.

MAINTENANCE

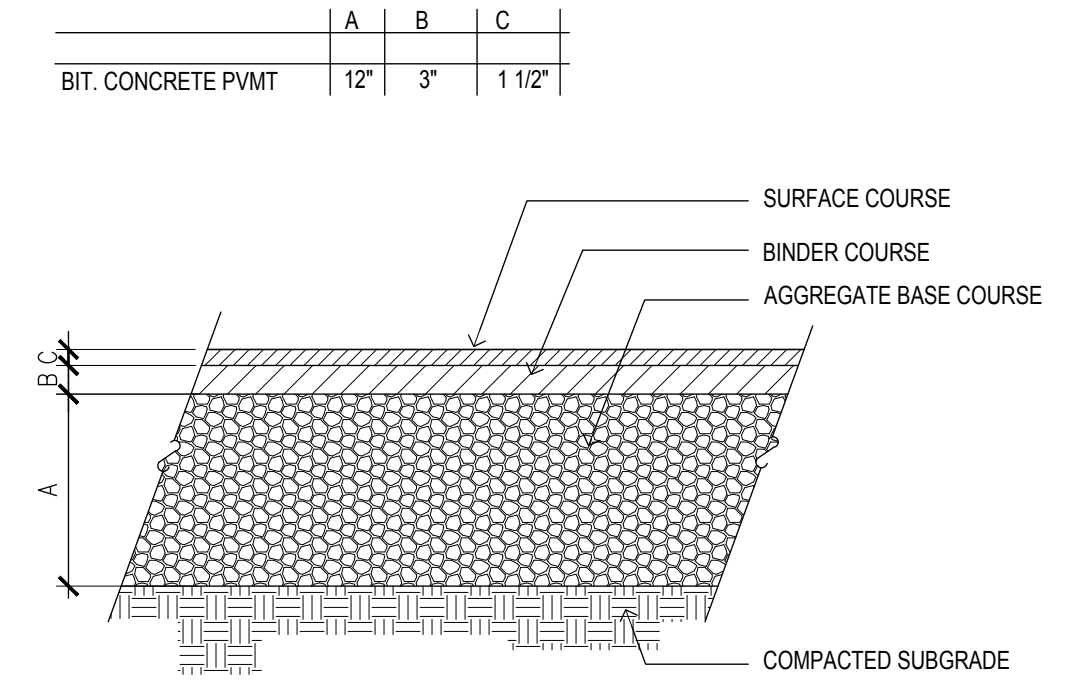
- CFS should be inspected after each runoff event. Sediment to be removed once it has accumulated to one-half the original height of the CFS. Repair with handwork if a given section of CFS shows signs of undercutting. Reinforce with handwork if a given section of CFS shows signs of pushing.
- A given section of CFS shall be replaced whenever it has deteriorated to such an extent that the effectiveness is reduced or diminished. Deterioration could occur because of natural mesh fabric breakdown over time or abusive field activities such as dragging/moving on the jobsite or driving over CFS.
- Some ripping and tearing of the CFS fabric is acceptable as long as the overall structural integrity of the CFS is not compromised. The fabric must continue to hold the Filler Material securely in place in an oval form.
- A given section of CFS shall be replaced whenever sediment has built up and been removed three times. This section of CFS is likely full of fine powdery sediment - this is normal.

REMOVAL

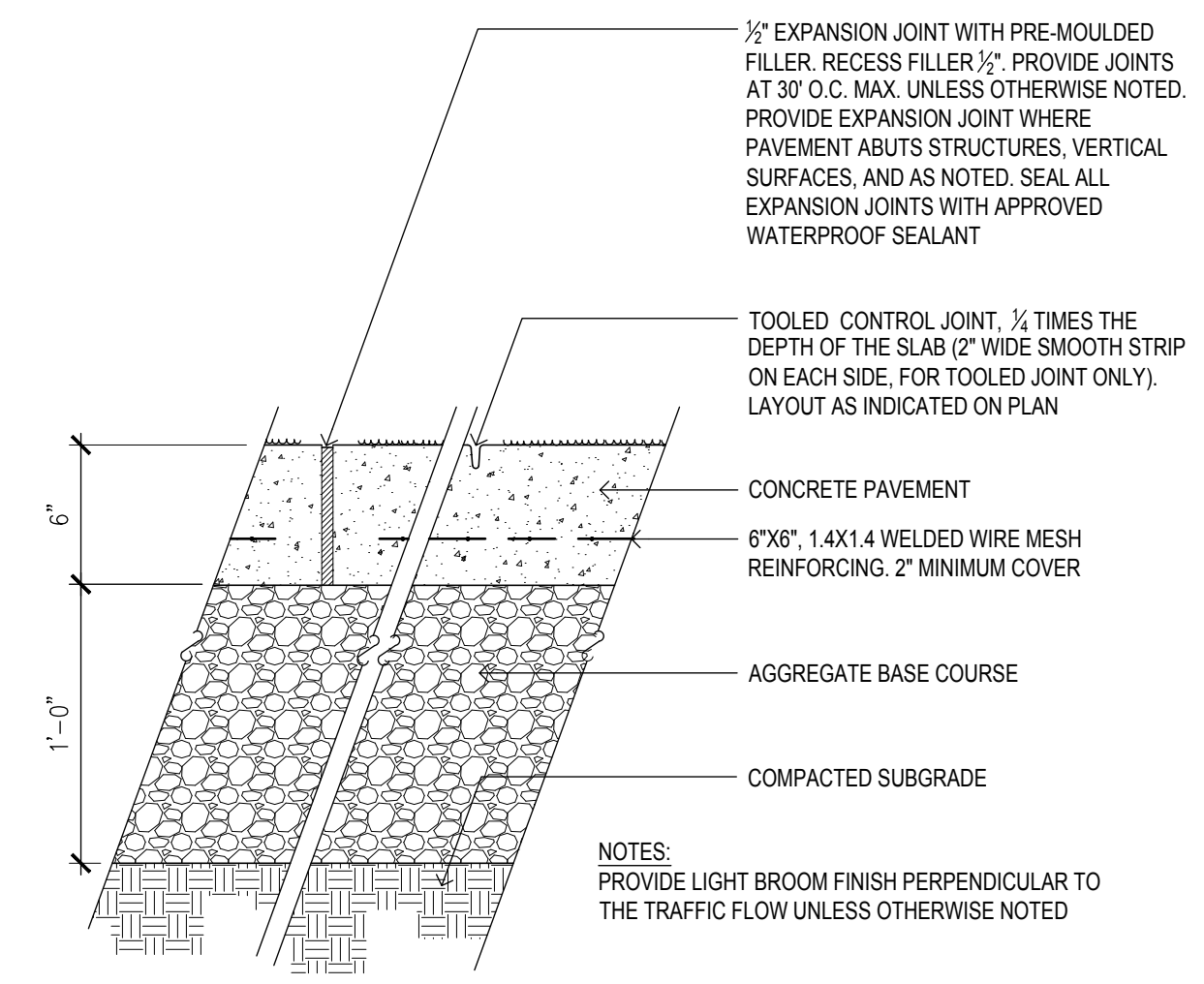
- CFS shall remain in place until disturbed areas have been stabilized. All sediment accumulation at CFS shall be removed and properly disposed of before de-installing CFS. When de-installing, cut CFS open and spread the Filler Material around the site. The netting shall be removed from jobsite.



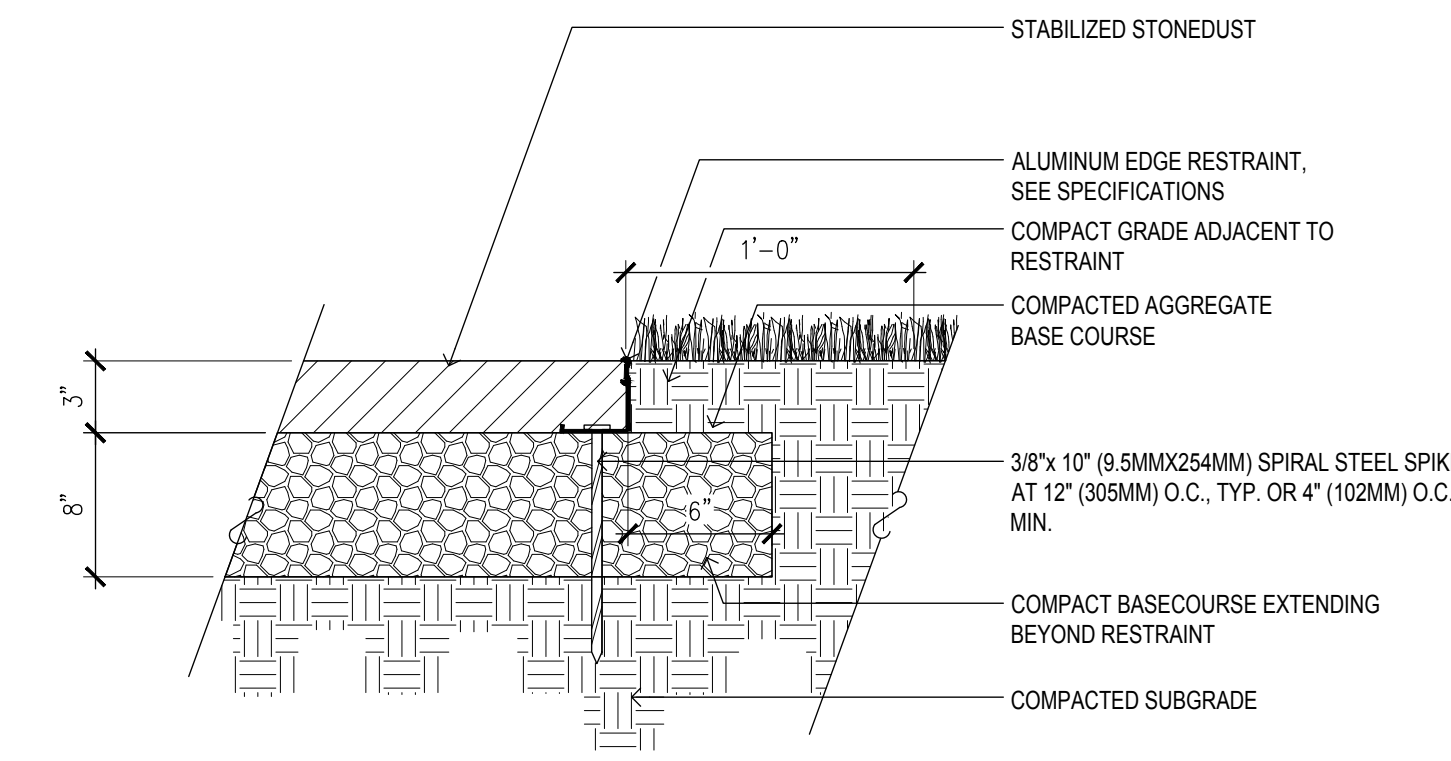
4 CATCH BASIN WITH SILT SACK PROTECTION
 SCALE: 1/4" = 1'-0"



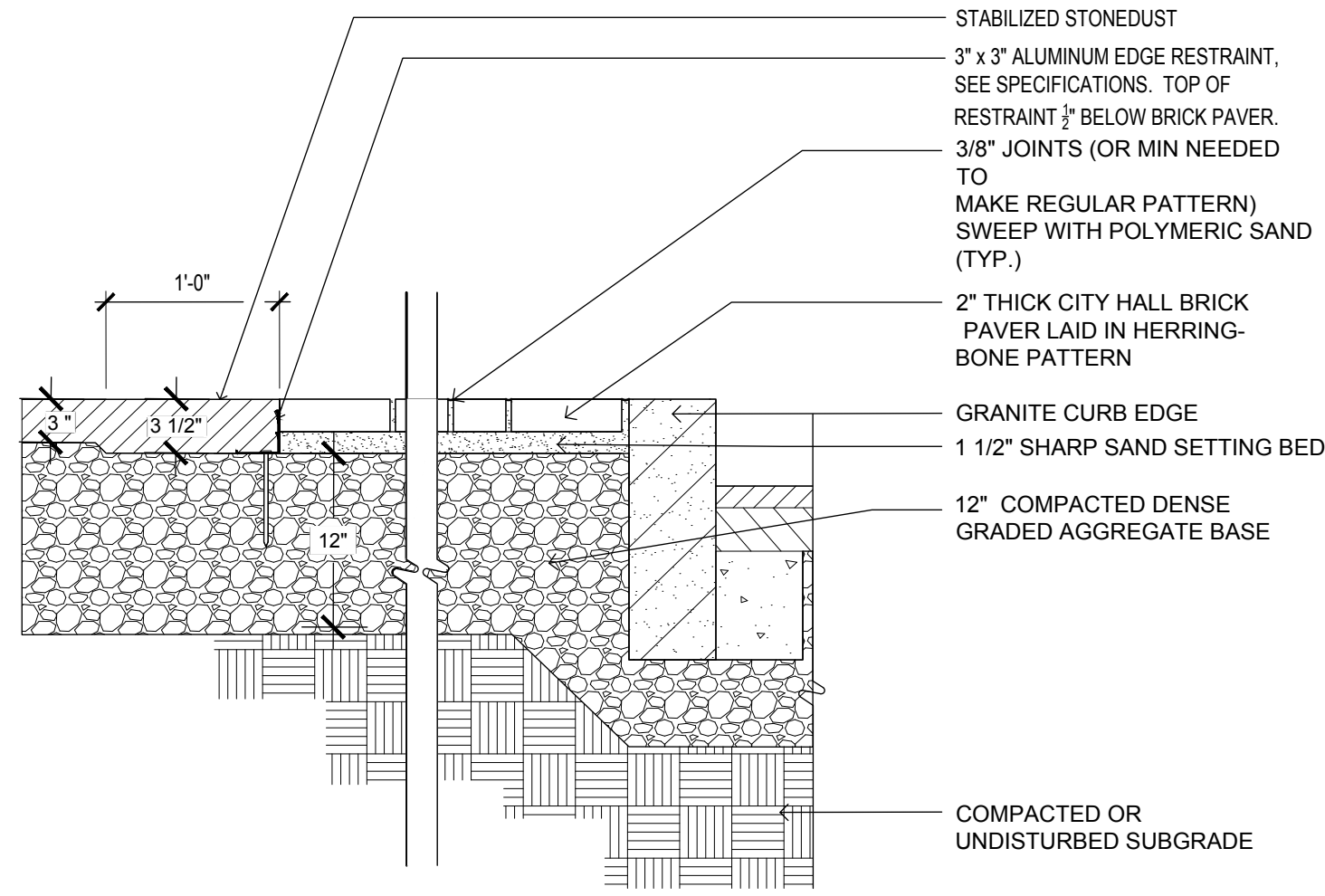
5 BITUMINOUS CONCRETE PAVEMENT
 SCALE: 1" = 1'-0"



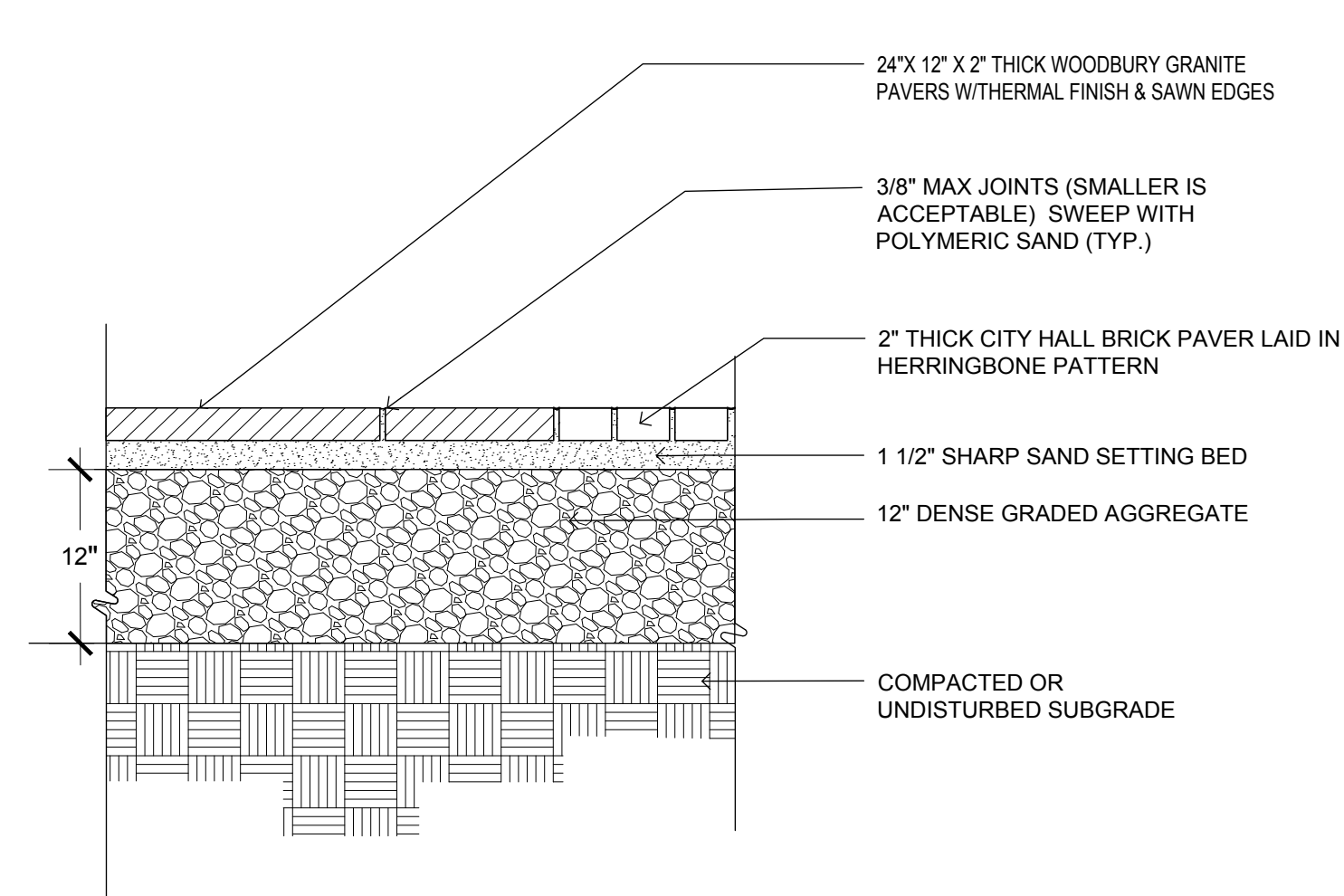
6 CONCRETE PAVEMENT
 SCALE: 1 1/2" = 1'-0"



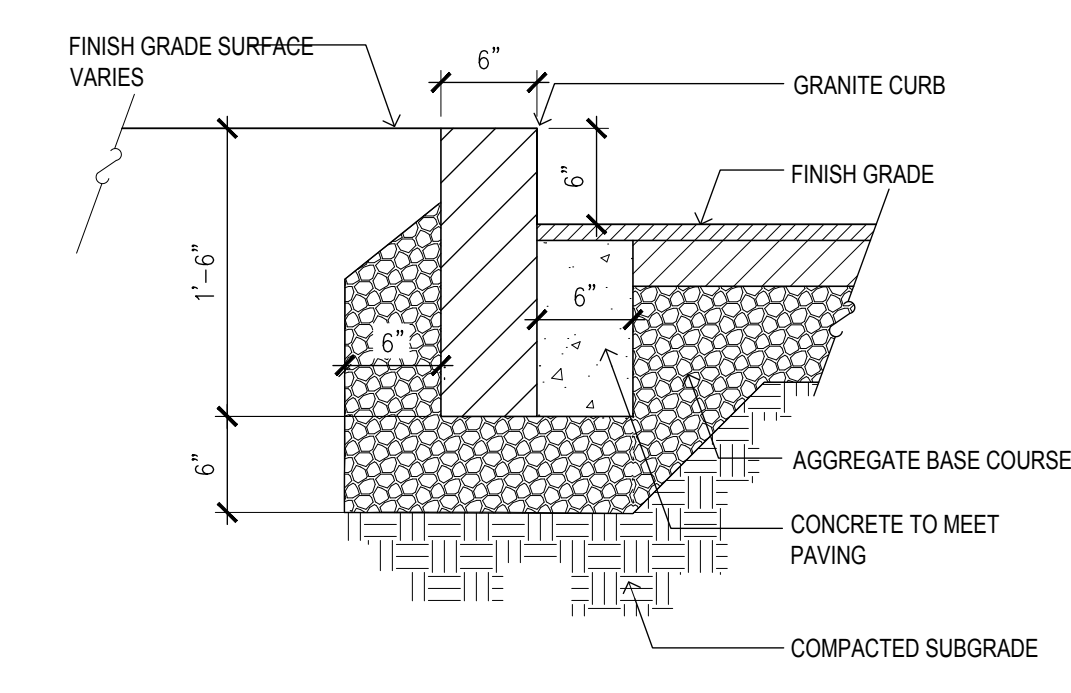
7 STABILIZED STONEDUST PVMT. & EDGE RESTRAINT
 NOT TO SCALE



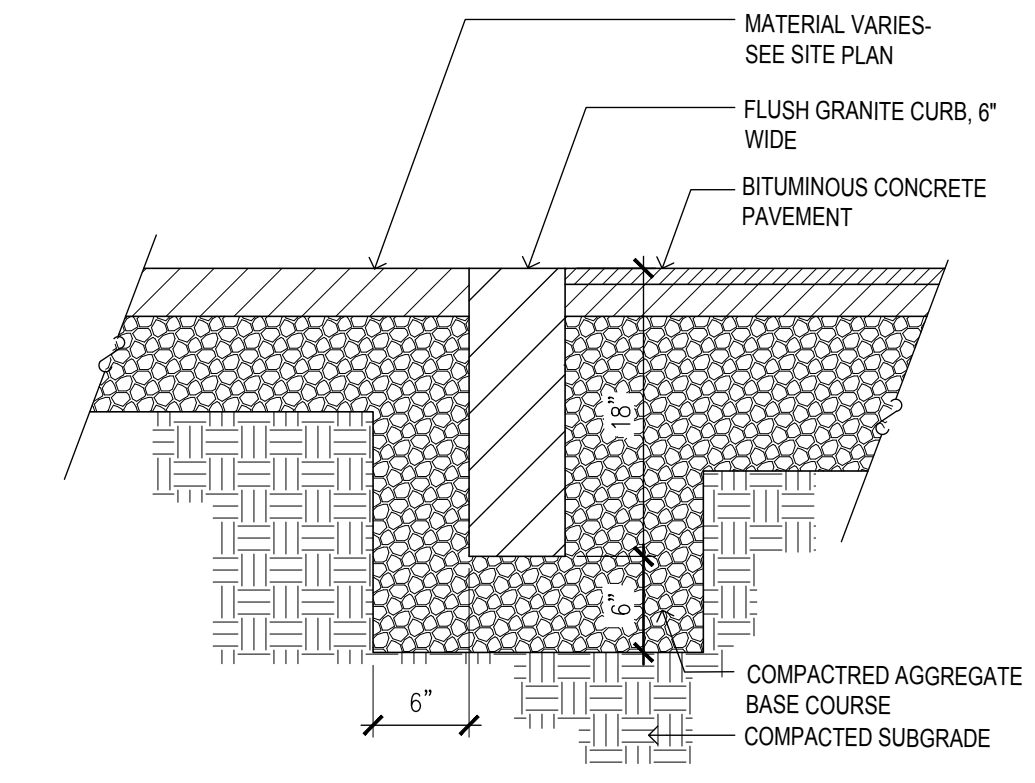
8 BRICK PAVEMENT
 SCALE: 1" = 1'-0"



9 GRANITE PAVEMENT (ALTERNATE #3)
 SCALE: 1" = 1'-0"



10 VERTICAL GRANITE CURB
 SCALE: 1" = 1'-0"



11 FLUSH GRANITE CURB
 SCALE: 1" = 1'-0"

REVISIONS	DATE	DESCRIPTION	BY

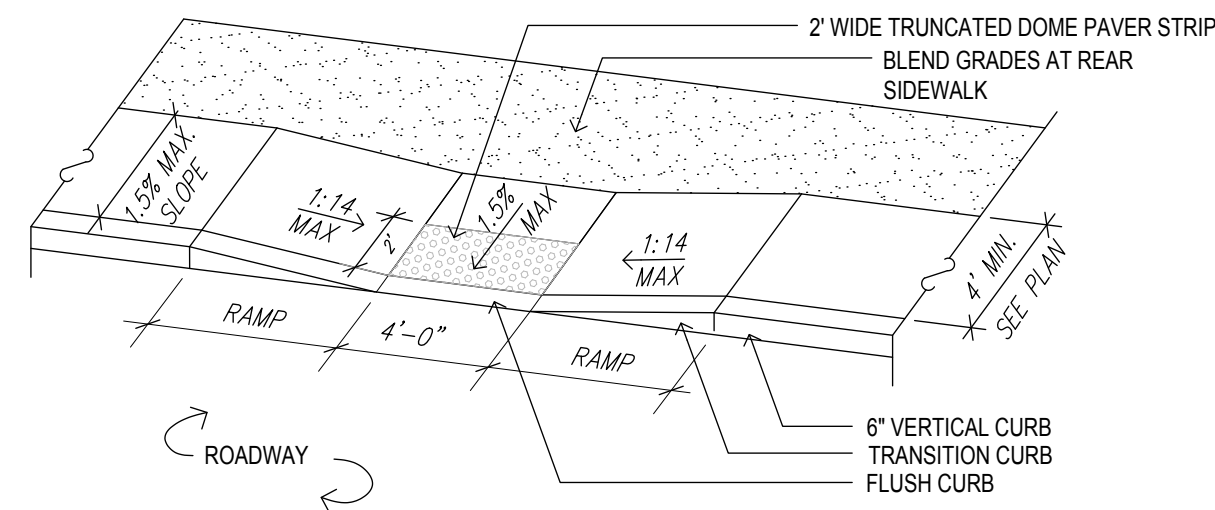
J Thoma Land Design Studios
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TOPSFIELD VILLAGE PARK
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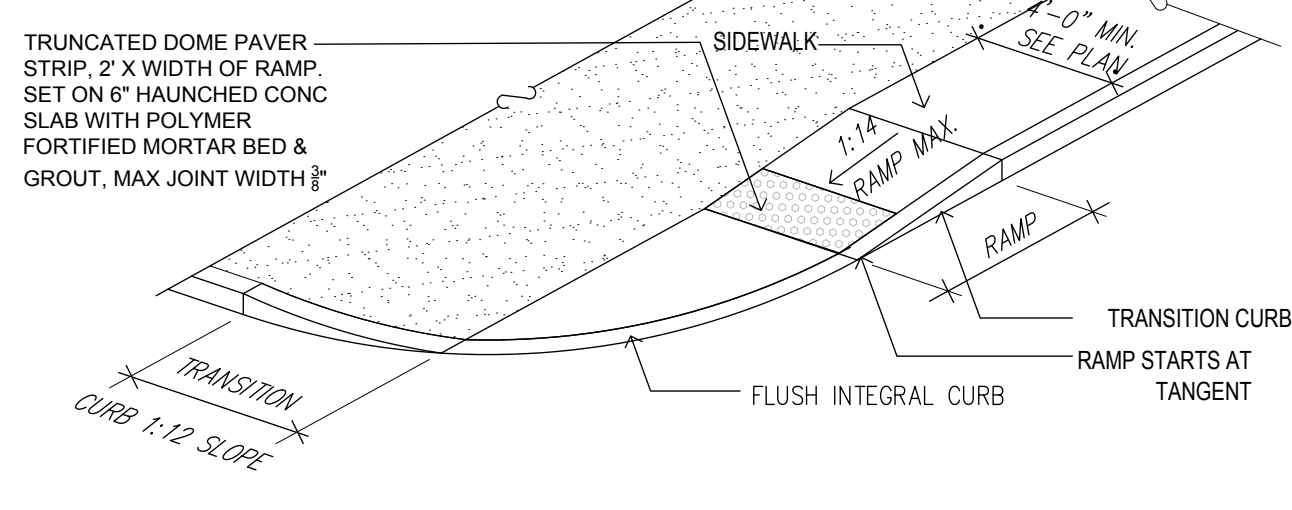


NOTES:

- RAMP CROSS SECTION TO BE THE SAME AS ADJACENT SIDEWALK; I.E. DEPTH OF SURFACE AND FOUNDATION. DIMENSIONS ARE SUBJECT TO CHANGE IN FIELD. ALL SLOPES AND DIMENSIONS TO COMPLY WITH A.D.A. AND MAAB REQUIREMENTS.
- PROVIDE EXPANSION JOINT AT TOPS OF RAMP AND AT BACK OF WALK AT INTERFACE OF CURB.
- PROVIDE HEAVY BROOM FINISH ON RAMP AND SIDE SLOPES PERPENDICULAR TO FLOW OF TRAFFIC. MINIMUM WALK DIMENSIONS ARE FROM BACK OF CURB.
- TRANSITION CURB LENGTH AS REQUIRED TO MEET CODE.
- FIXED OBJECTS (I.E. UTILITY POLES, HYDRANTS ETC.) MUST NOT ENCRUCH ON ANY PART OF A WHEELCHAIR RAMP, INCLUDING TRANSITION SLOPES.
- AT NO TIME IS ANY PART OF THE WHEELCHAIR RAMP, EXCLUDING CURB TRANSITIONS, TO BE LOCATED OUTSIDE OF THE CROSSWALK.
- SET TRUNCATED DOME PAVEMENT STRIP ON 6" THICK HAUNCHED CONC SLAB FLUSH WITH ADJACENT RAMP. USE POLYMER FORTIFIED MORTAR AND GROUT. MAX. JOINT WIDTH IS 1/2"

1 CURB CUR TYPE 1

SCALE: NOT TO SCALE

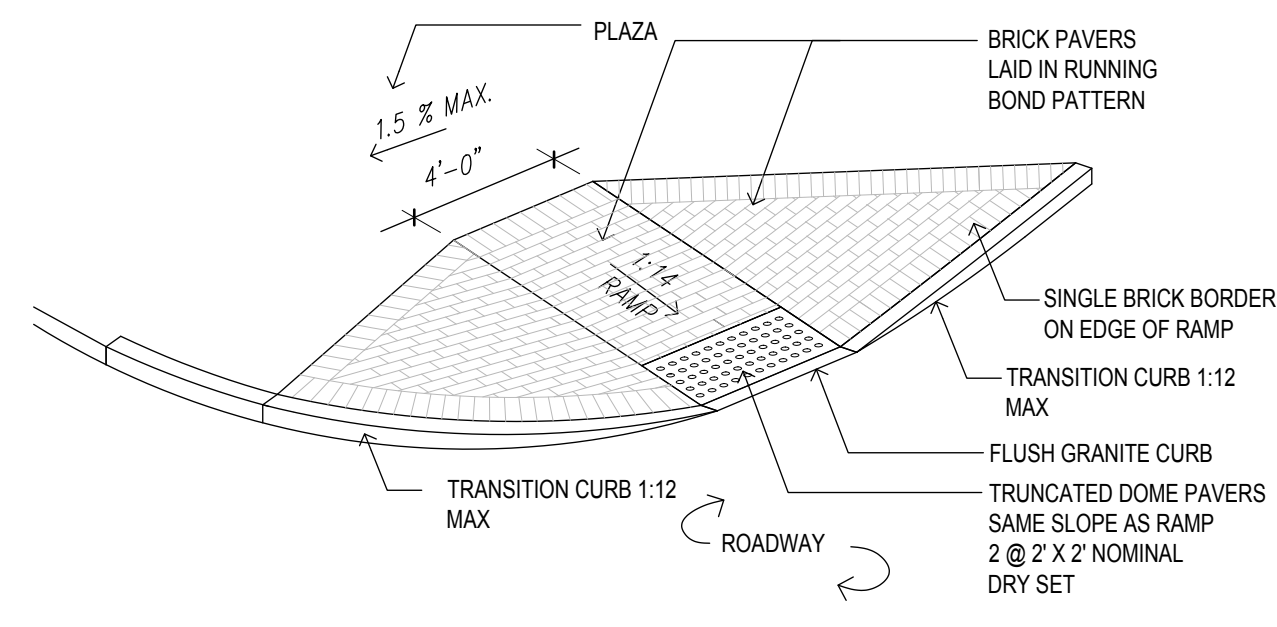


NOTES:

- RAMP CROSS SECTION TO BE THE SAME AS ADJACENT SIDEWALK; I.E. DEPTH OF SURFACE AND FOUNDATION. DIMENSIONS ARE SUBJECT TO CHANGE IN FIELD. ALL SLOPES AND DIMENSIONS TO COMPLY WITH A.D.A. AND MAAB REQUIREMENTS.
- PROVIDE EXPANSION JOINT AT TOPS OF RAMP AND AT BACK OF WALK AT INTERFACE OF CURB.
- PROVIDE HEAVY BROOM FINISH ON RAMP AND SIDE SLOPES PERPENDICULAR TO FLOW OF TRAFFIC. MINIMUM WALK DIMENSIONS ARE FROM BACK OF CURB.
- TRANSITION CURB LENGTH AS REQUIRED TO MEET CODE.
- FIXED OBJECTS (I.E. UTILITY POLES, HYDRANTS ETC.) MUST NOT ENCRUCH ON ANY PART OF A WHEELCHAIR RAMP, INCLUDING TRANSITION SLOPES.
- AT NO TIME IS ANY PART OF THE WHEELCHAIR RAMP, EXCLUDING CURB TRANSITIONS, TO BE LOCATED OUTSIDE OF THE CROSSWALK.
- SET TRUNCATED DOME PAVEMENT STRIP ON 6" THICK HAUNCHED CONC SLAB FLUSH WITH ADJACENT RAMP. USE POLYMER FORTIFIED MORTAR AND GROUT. MAX. JOINT WIDTH IS 1/2"

2 CURB CUT TYPE 2

SCALE: 1/4" = 1'-0"

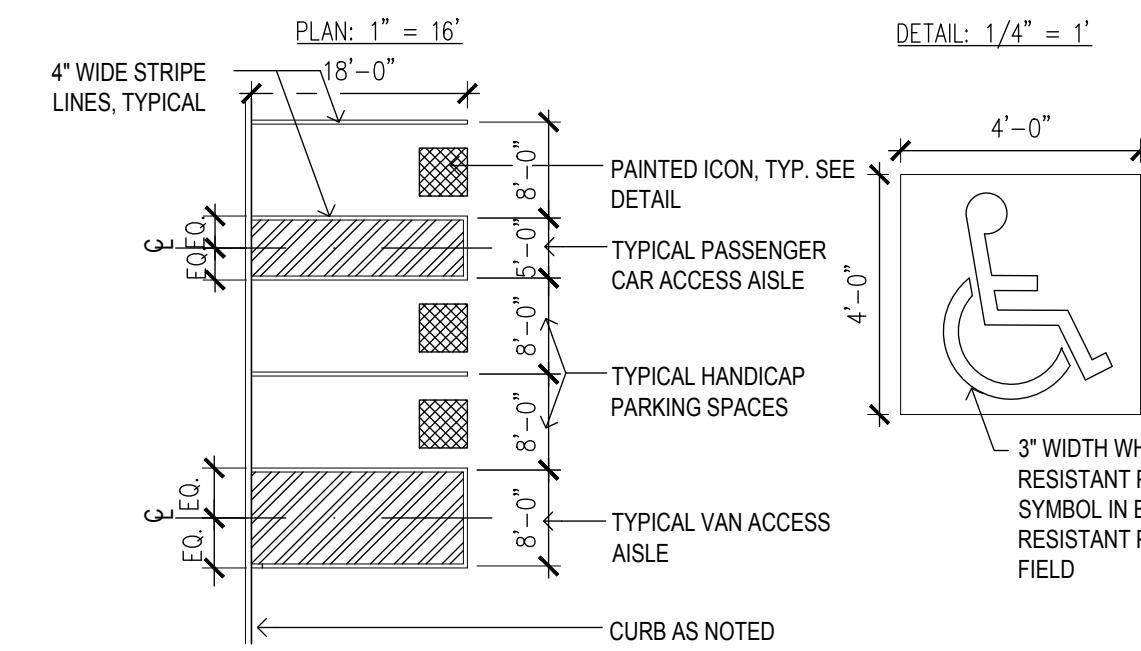


NOTES:

- RAMP CROSS SECTION TO BE THE SAME AS ADJACENT PLAZA; I.E. DEPTH OF SURFACE AND FOUNDATION. DIMENSIONS ARE SUBJECT TO CHANGE IN FIELD. ALL SLOPES AND DIMENSIONS TO COMPLY WITH A.D.A. AND MAAB REQUIREMENTS.
- TRANSITION CURB LENGTH AS REQUIRED TO MEET CODE.
- FIXED OBJECTS (I.E. UTILITY POLES, HYDRANTS ETC.) MUST NOT ENCRUCH ON ANY PART OF A WHEELCHAIR RAMP, INCLUDING TRANSITION SLOPES.
- AT NO TIME IS ANY PART OF THE WHEELCHAIR RAMP, EXCLUDING CURB TRANSITIONS, TO BE LOCATED OUTSIDE OF THE CROSSWALK.
- SET TRUNCATED DOME PAVERS THAT ARE ADJACENT TO BRICK PAVEMENT ON SAME SAND SETTING BED. SWEEP JOINTS WITH POLYMERIC SAND. MAX. JOINT WIDTH IS 1/2"

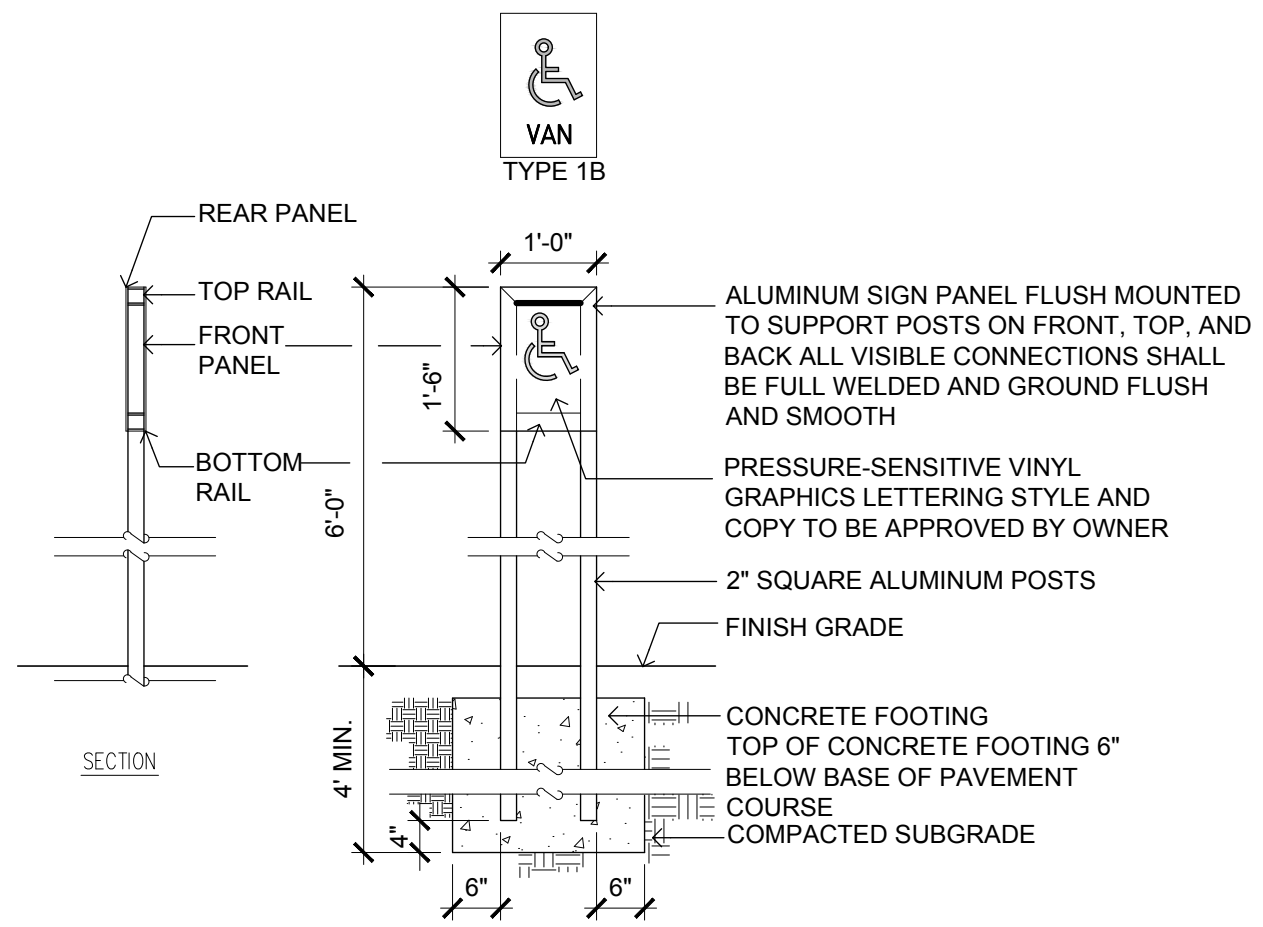
3 CURB CUT TYPE 3

NOT TO SCALE



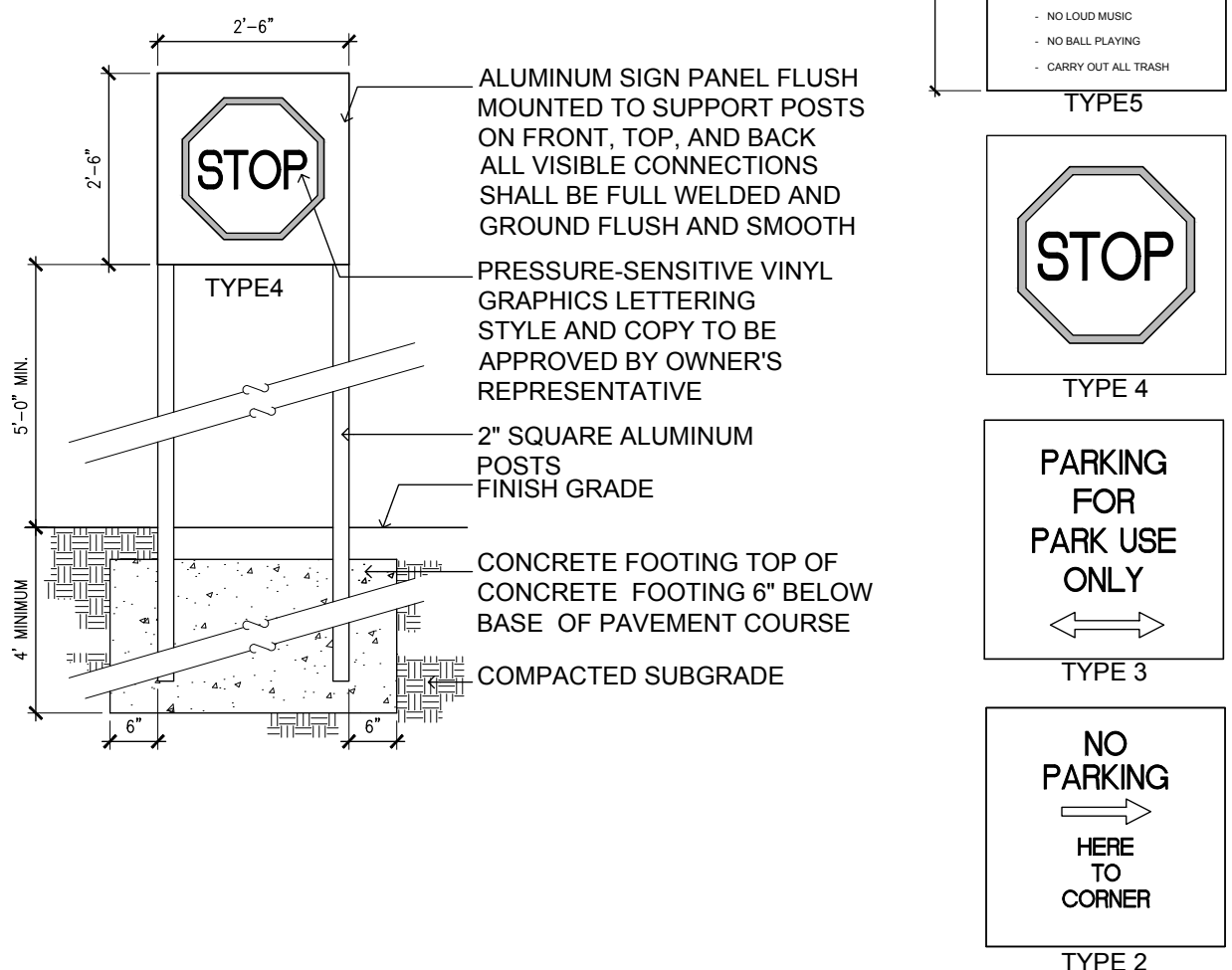
4 HANDICAP PARKING SPACE LAYOUT

SCALE: AS SHOWN



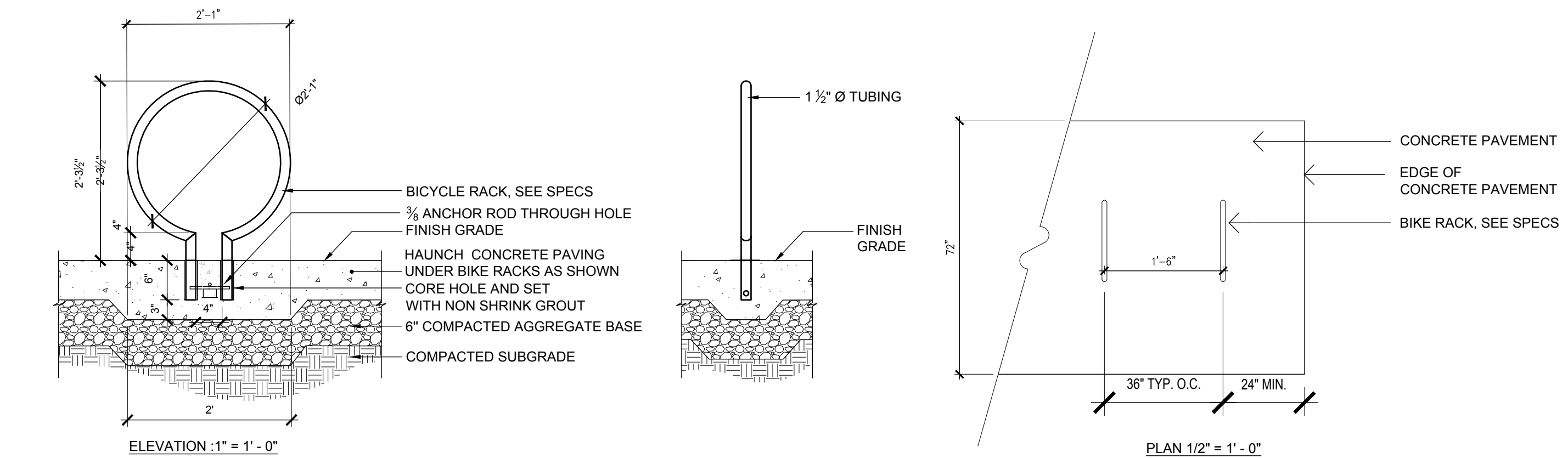
5 H.C. VAN PARKING SIGN

SCALE: 1/2" = 1'-0"



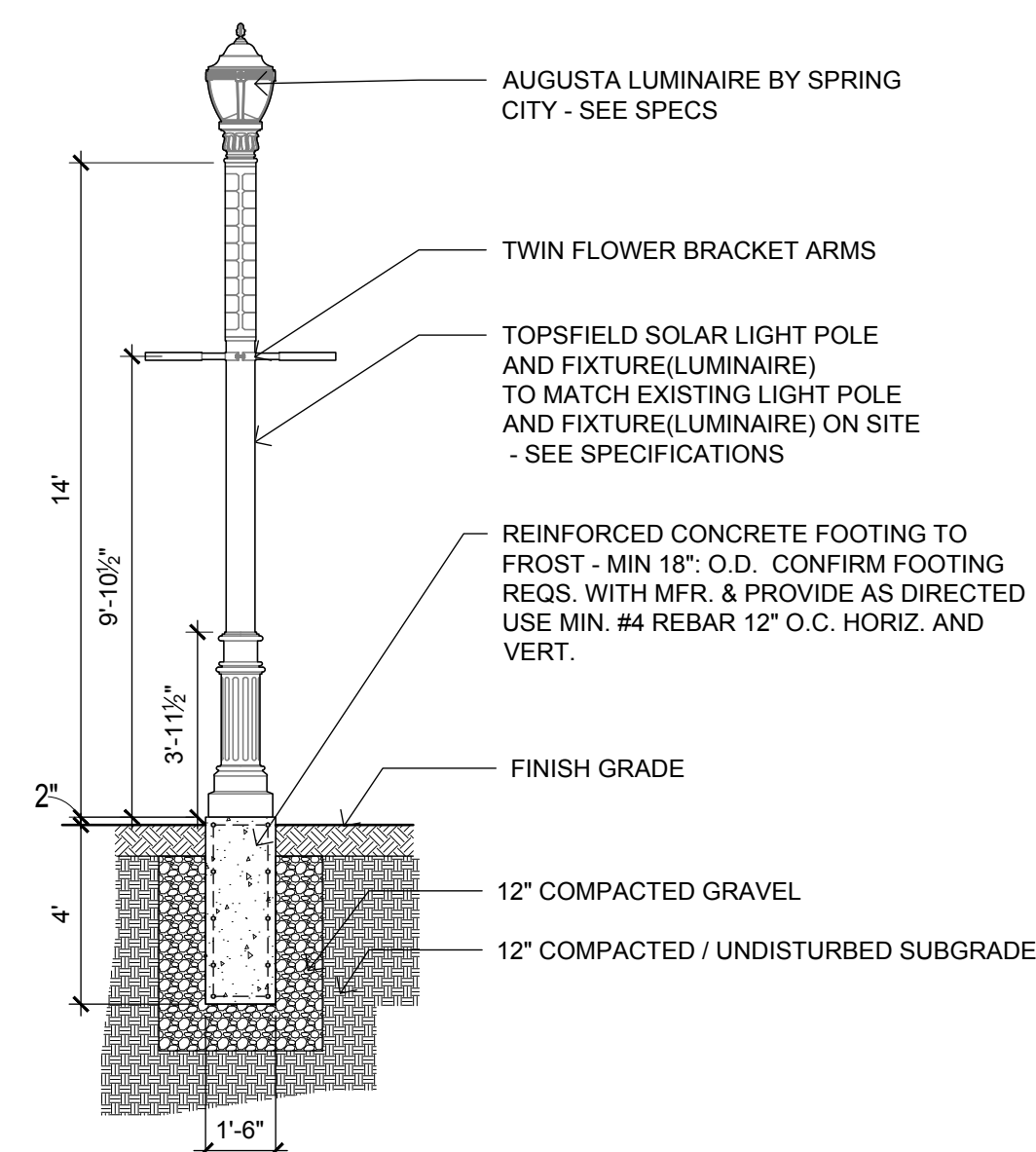
6 TRAFFIC SIGN

NOT TO SCALE



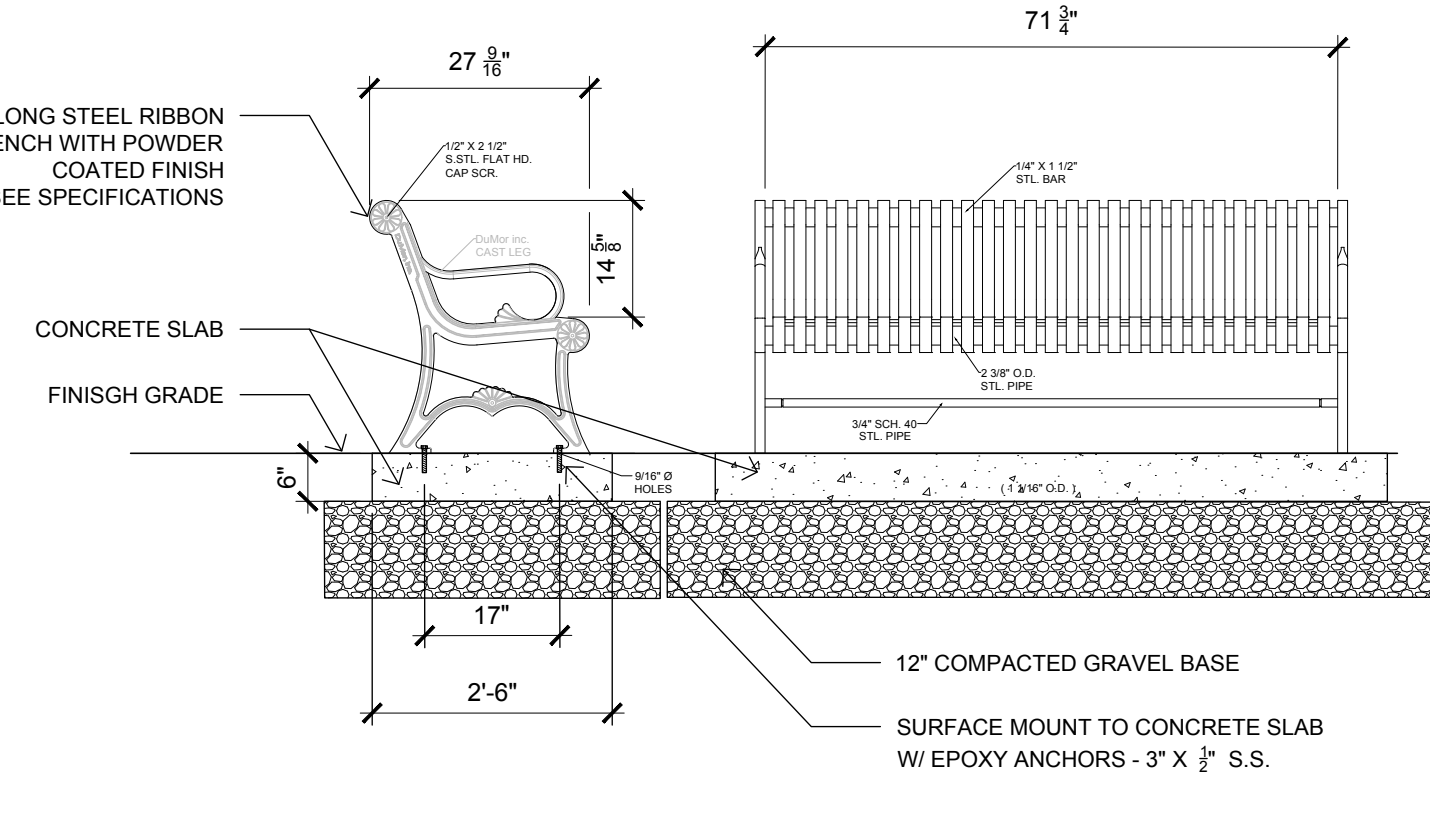
7 BIKE RACK

SCALE: AS SHOWN



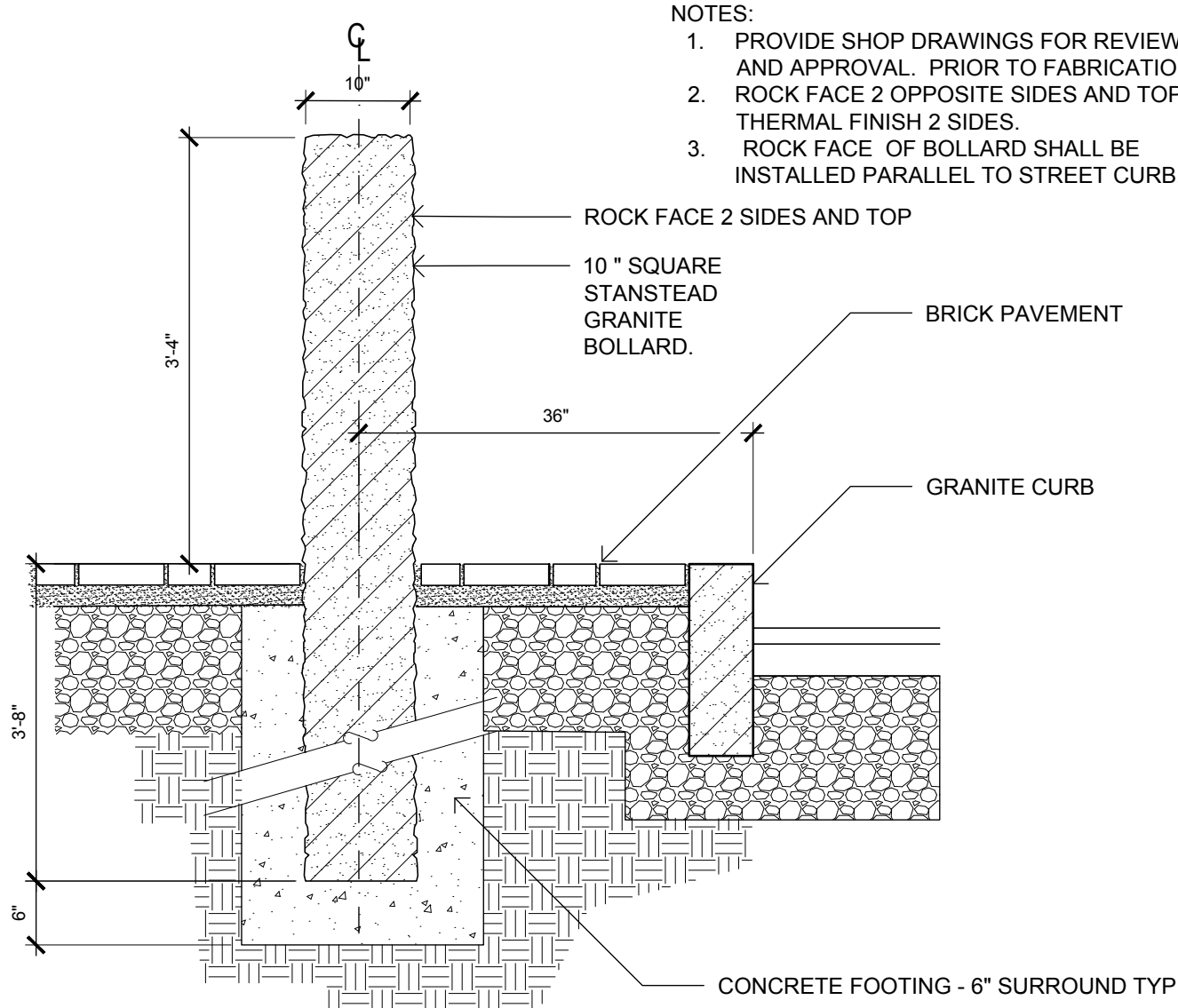
8 SOLAR LIGHT POLE AND FIXTURE (LUMINAIRE)

SCALE: 1/4" = 1'-0"



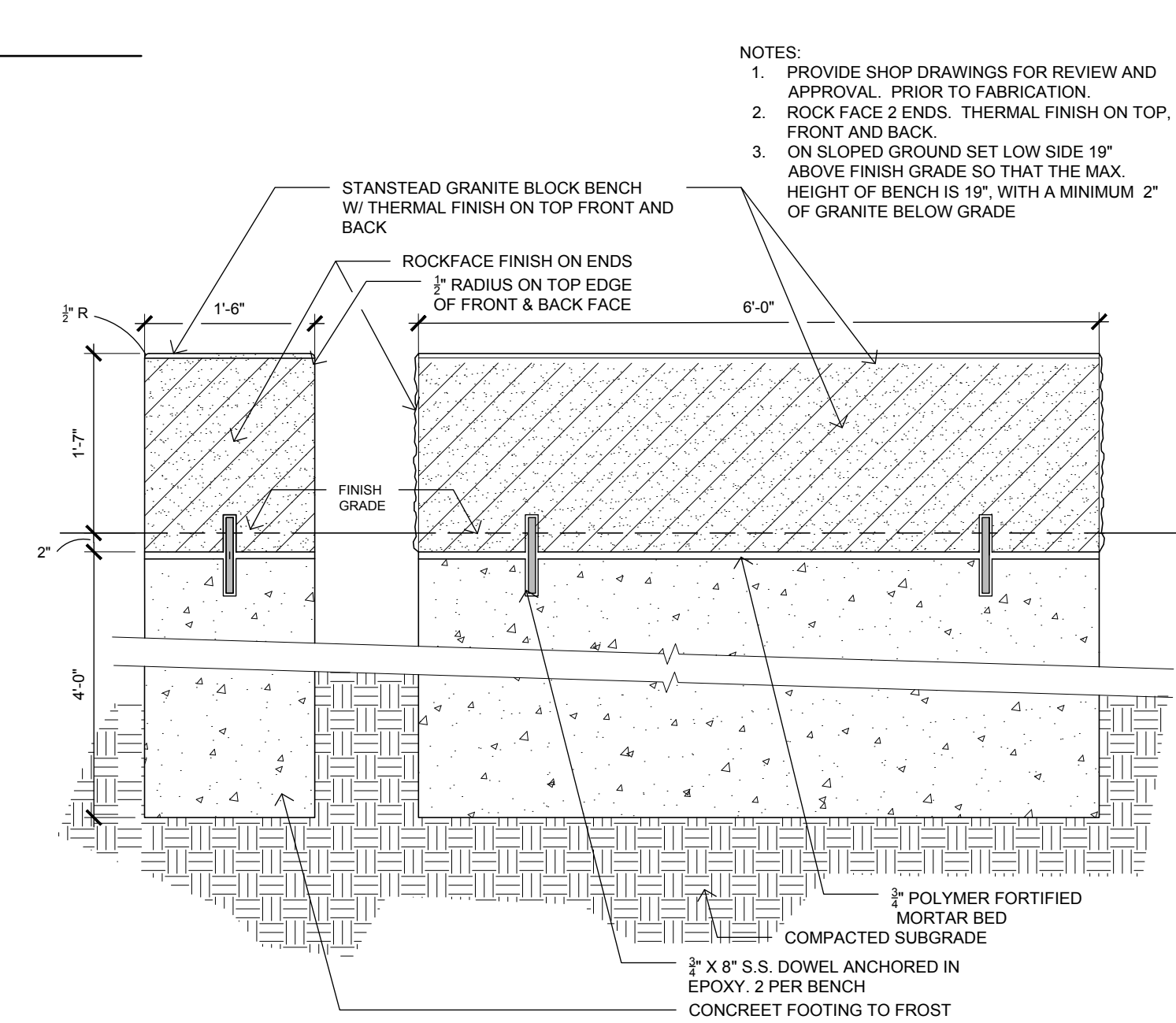
9 6' BACKED METAL RIBBON BENCH

SCALE: 1/2" = 1'-0"



10 GRANITE BOLLARD

SCALE: 3/4" = 1'-0"



11 6' GRANITE BLOCK BENCH

SCALE: 1" = 1'-0"

NO.	REVISIONS	DATE	BY

J THOMA LAND DESIGN STUDIOS

 Live Work Play

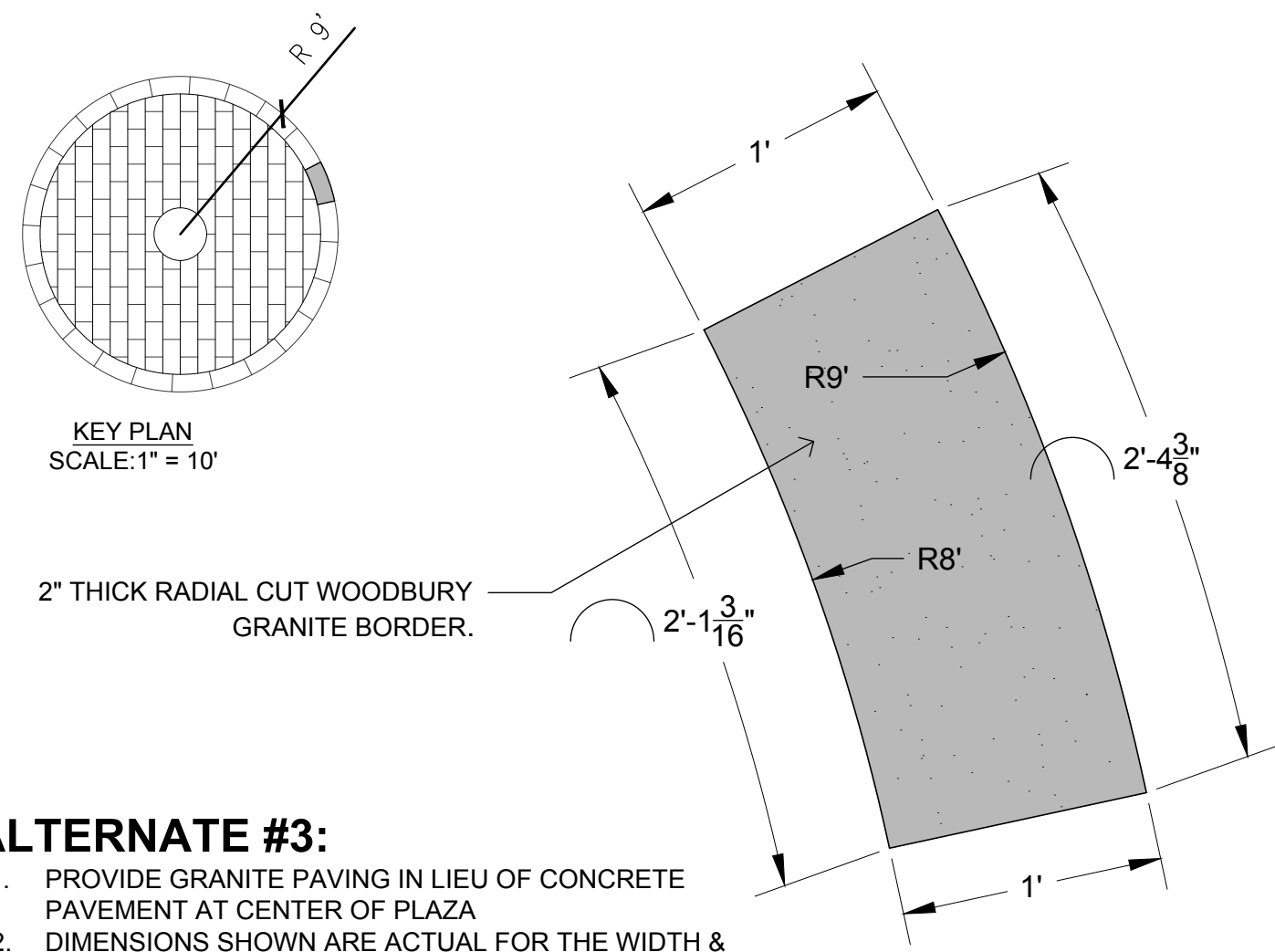
TOPSFIELD VILLAGE PARK
 DETAILS

J Thoma Land Design Studios
 141 Haggitts Pond Rd
 Andover, MA 01810
 978-409-9815 - www.jthomaid.com

SCALE: 1" = 10' - 0"

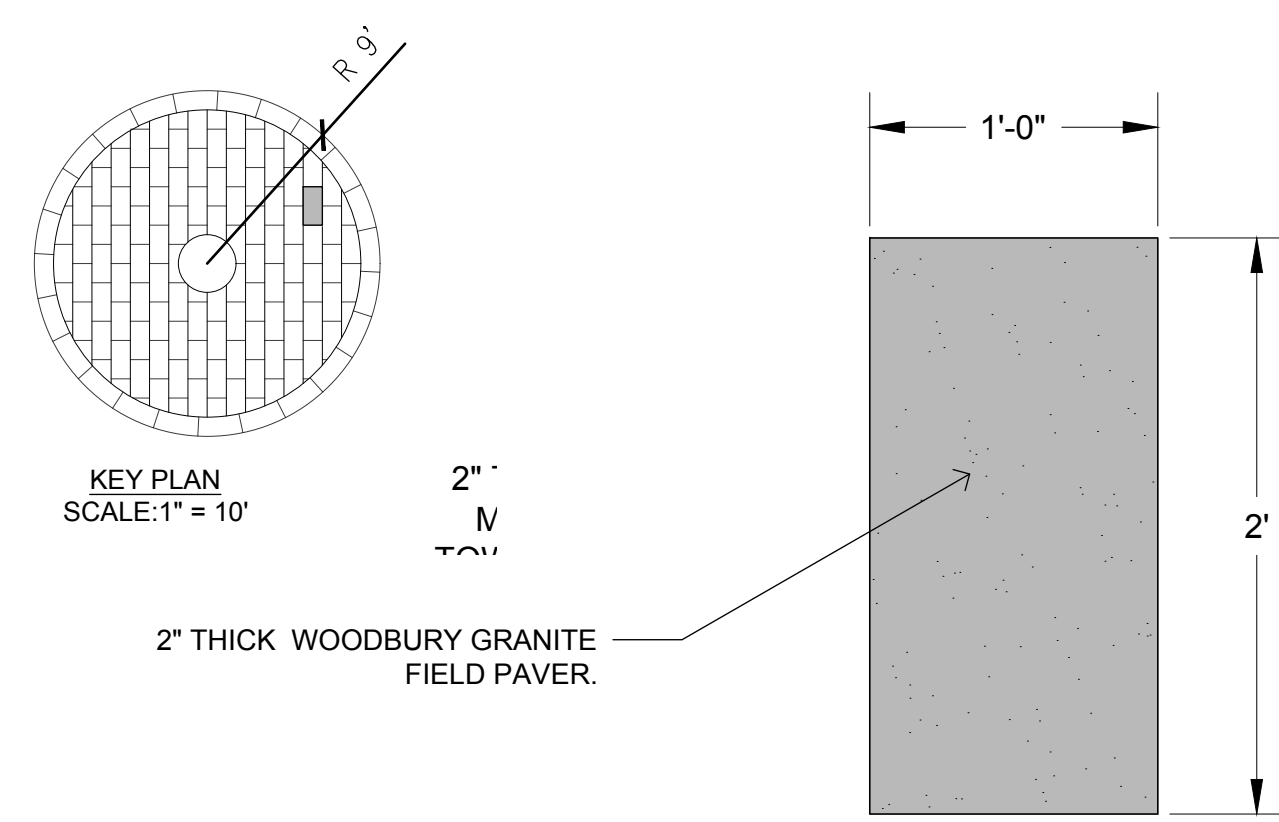
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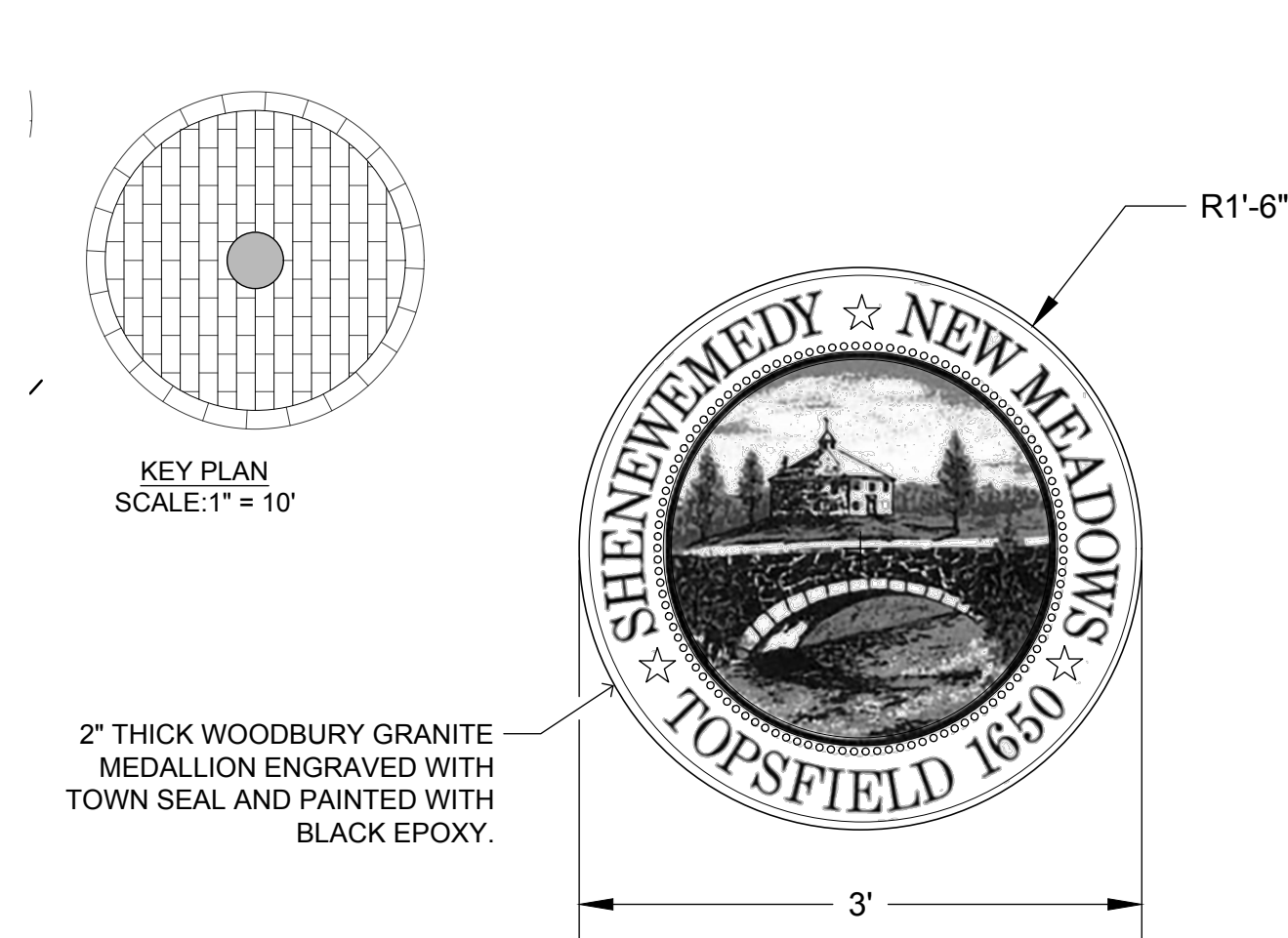
- ALTERNATE #3:**
1. PROVIDE GRANITE PAVING IN LIEU OF CONCRETE PAVEMENT AT CENTER OF PLAZA
 2. DIMENSIONS SHOWN ARE ACTUAL FOR THE WIDTH & NOMINAL FOR LENGTH.
 3. CUT LENGTH TO ACCOMMODATE A 3/8" JOINT WIDTH. THERMAL FINISH TOP. SAW CUT ALL OTHERS
 4. THERMAL FINISH TOP. SAW CUT ALL OTHERS
 5. PROVIDE SHOP DRAWINGS FOR REVIEW PRIOR TO FABRICATION

1 GRANITE PAVER - TYPICAL BORDER - (ALT. #3)
SCALE: 1 1/2" = 1'-0"



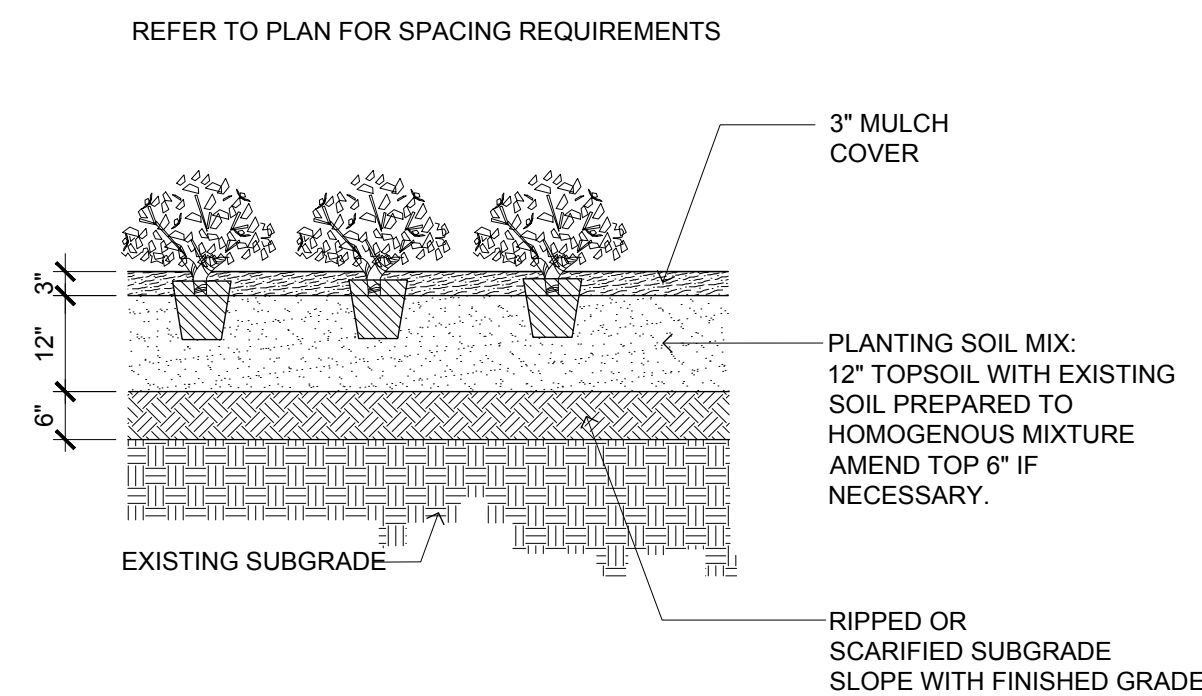
- ALTERNATE #3:**
1. PROVIDE GRANITE PAVING IN LIEU OF CONCRETE PAVEMENT AT CENTER OF PLAZA
 2. DIMENSIONS SHOWN ARE ACTUAL FOR THE WIDTH & NOMINAL FOR LENGTH.
 3. CUT LENGTH TO ACCOMMODATE A 3/8" JOINT WIDTH. THERMAL FINISH TOP. SAW CUT ALL OTHERS
 4. THERMAL FINISH TOP. SAW CUT ALL OTHERS
 5. PROVIDE SHOP DRAWINGS FOR REVIEW PRIOR TO FABRICATION

2 GRANITE PAVER - TYPICAL FIELD - (ALT. #3)
SCALE: 1 1/2" = 1'-0"

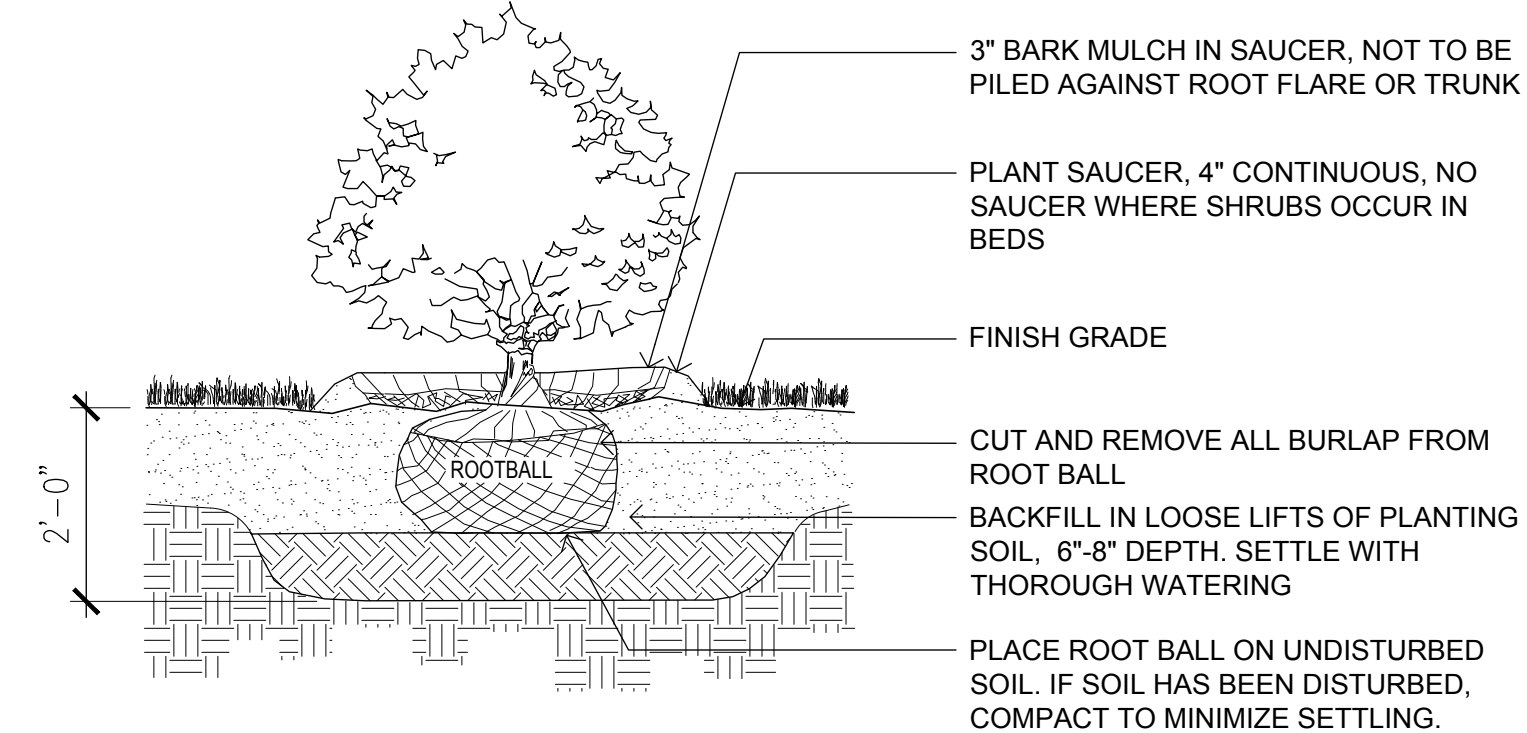


- NOTES:**
1. DIMENSIONS SHOWN ARE ACTUAL.
 2. THERMAL FINISH TOP. SAW CUT ALL OTHERS
 3. PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION

3 GRANITE MEDALLION PAVER
SCALE: 1" = 1'-0"

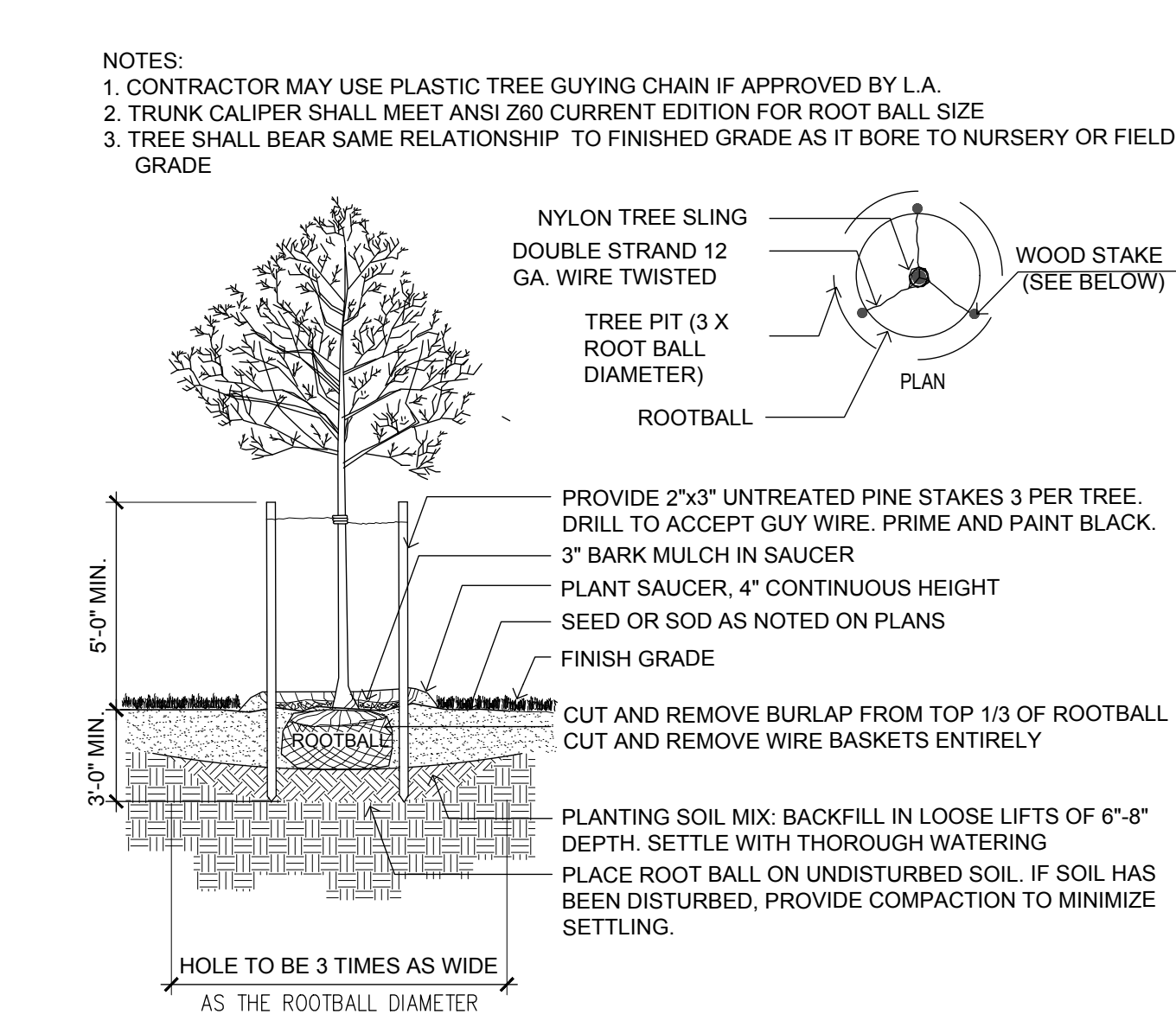


4 GRONDCOVER AND PERENNIAL PLANTING
SCALE: 1/2" = 1'-0"

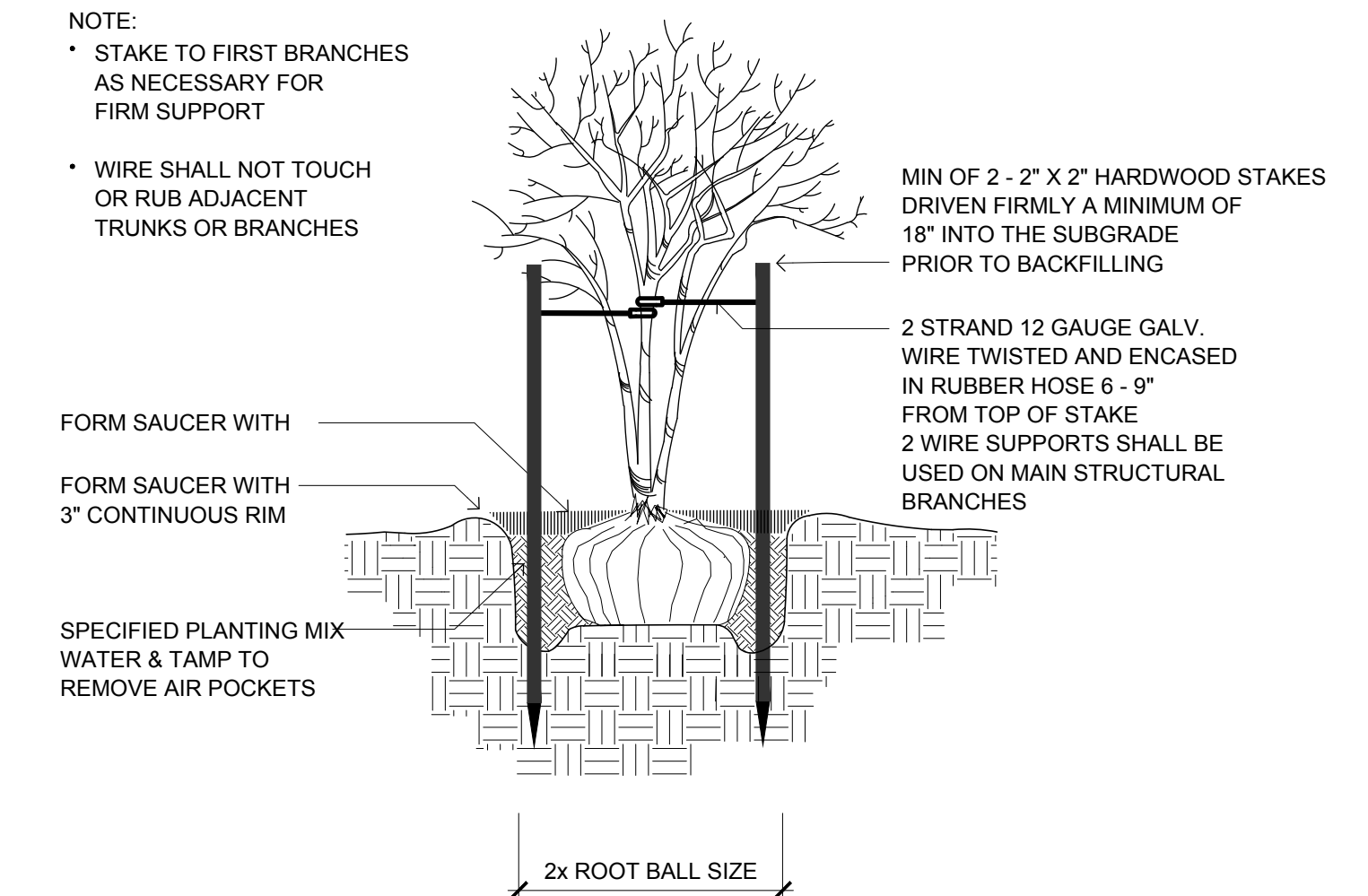


- NOTES:**
1. SHRUB SHALL BEAR SAME RELATIONSHIP TO FINISHED GRADE AS IT BORE TO NURSERY OR FIELD GRADE
 2. WHERE SHRUBS OCCUR IN GROUPINGS IN PLANT BEDS, PROVIDE 2 FOOT DEEP CONTINUOUS LOAM BED.

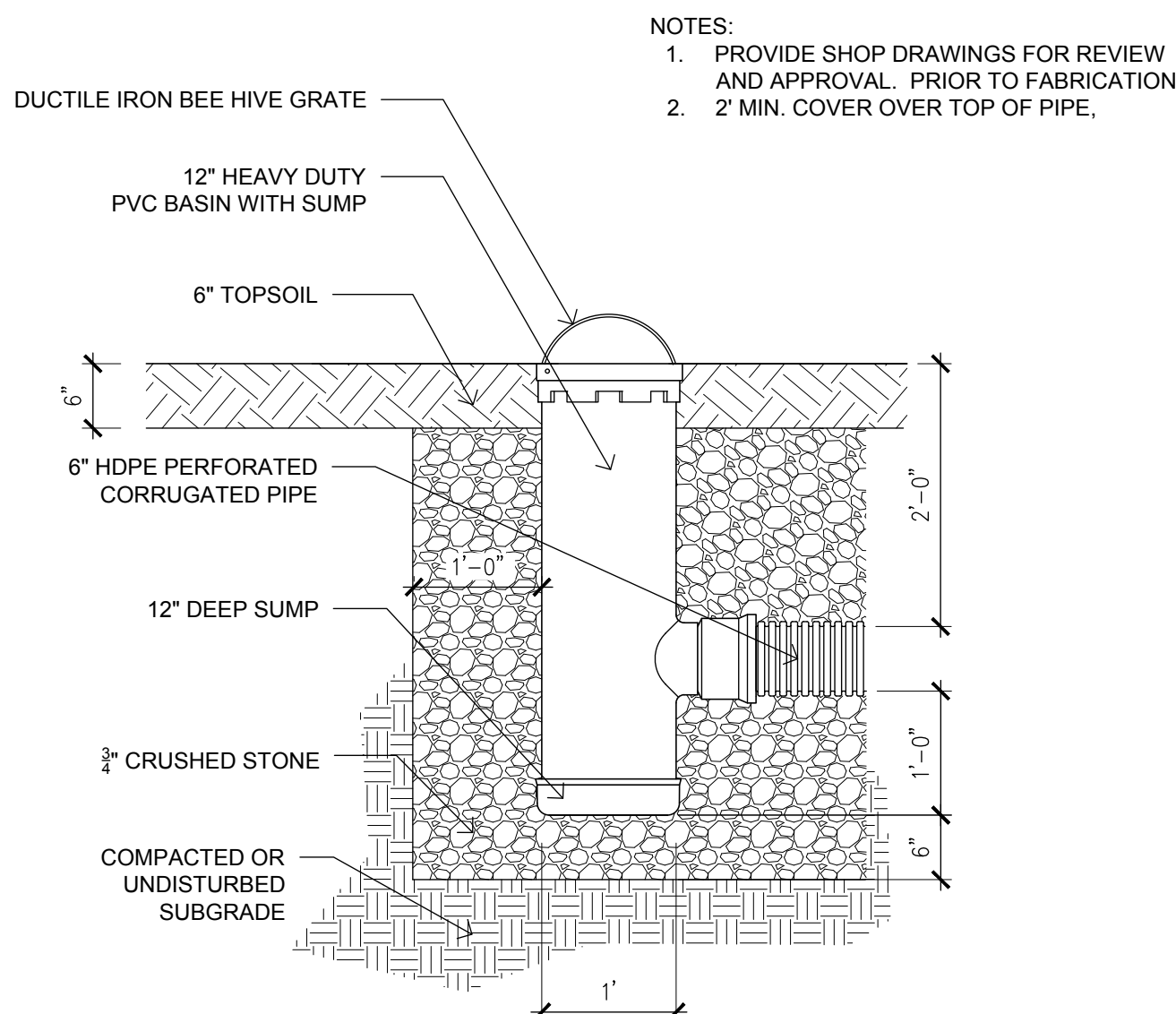
5 SHRUB PLANTING
SCALE: 1/2" = 1'-0"



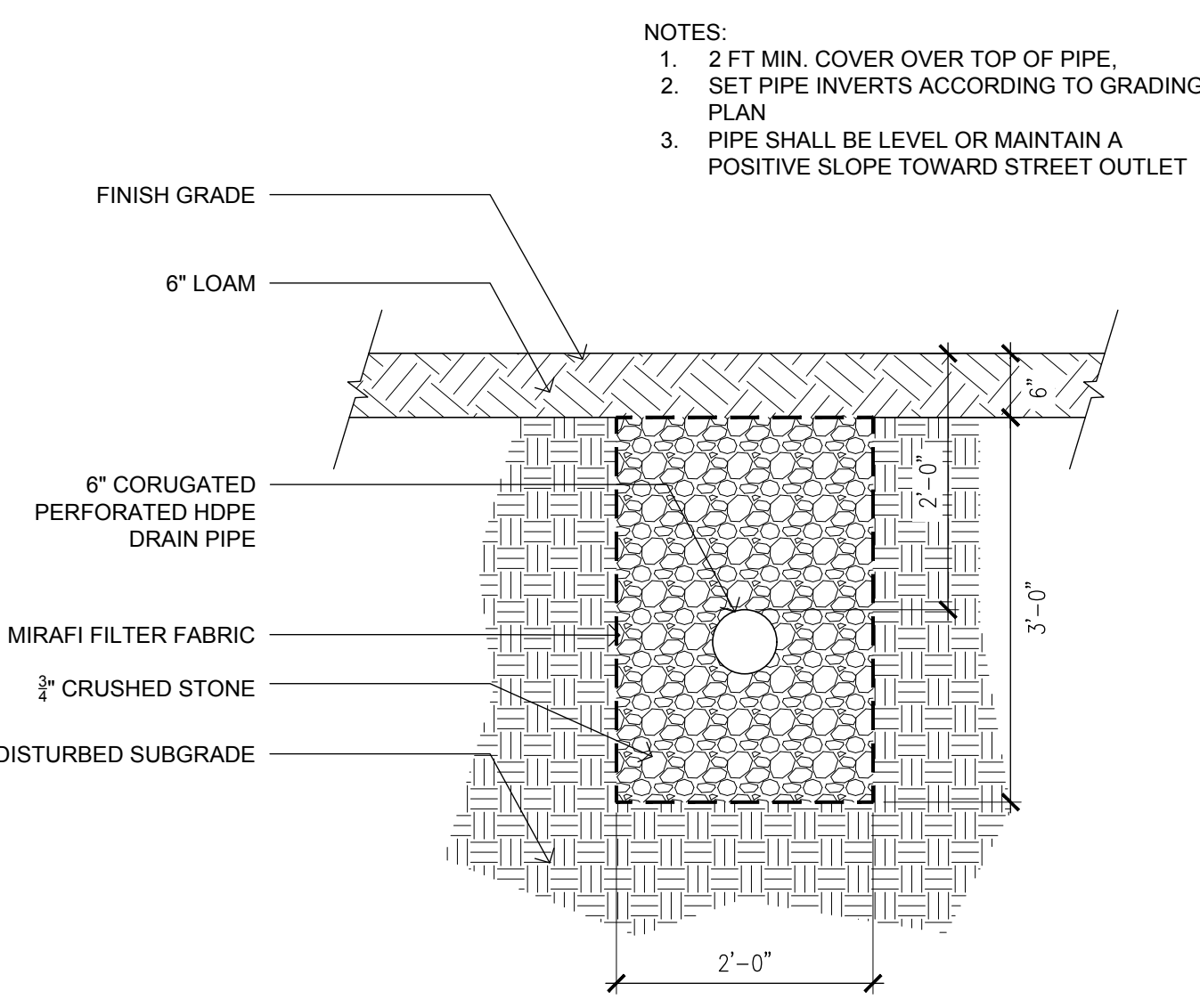
6 TREE PLANTING
SCALE: 1/4" = 1'-0"



7 MULTISTEM TREE PLANTING
SCALE: 1 1/2" = 1'-0"



8 12" PVC DRAIN BASIN
SCALE: 3/4" = 1'-0"



9 CRUSHED STONE DRAINAGE TRENCH
SCALE: 3/4" = 1'-0"

REVISIONS	DATE	DESCRIPTION	BY

J THOMA LAND DESIGN STUDIOS
LDS
Live Work Play

TOPSFIELD VILLAGE PARK
DETAILS

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